

URBAN RENEWAL PLAN

MIDDLE EAST

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URBAN RENEWAL PLAN
MIDDLE EAST
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
BALTIMORE, MARYLAND

APPROVED BY
THE MAYOR AND CITY COUNCIL OF BALTIMORE

BY ORDINANCE NO. 1202

NOVEMBER 30, 1979

REVISIONS SINCE ORIGINAL APPROVAL BY THE MAYOR AND CITY COUNCIL:

- I. Amendment No. 1, dated July 23, 1982, approved by the Mayor and City Council of Baltimore by Ordinance No. 769, dated September 1, 1982.
- II. Amendment No. 2, dated February 3, 1983, and revised April 11, 1983, approved by the Mayor and City Council of Baltimore by Ordinance No. 930, dated April 25, 1983.
- III. Amendment No. 3, dated September 30, 1983, approved by the Mayor and City Council of Baltimore by Ordinance No. 1094, dated December 1, 1983.
- IV. Amendment No. 4, dated March 1, 1985 and revised June 17, 1985, approved by the Mayor and City Council of Baltimore by Ordinance No. 467, dated June 26, 1985.
- V. Amendment No. 5, dated February 28, 1986 and revised June 19, 1986, approved by the Mayor and City Council of Baltimore by Ordinance No. 708, dated June 27, 1986.
- VI. Amendment No. 6, dated September 25, 2000, approved by the Mayor and City Council of Baltimore by Ordinance No. 119, dated December 7, 2000.
- VII. Amendment No. 7, dated April 5, 2002, approved by the Mayor and City Council of Baltimore by Ordinance No. 02-455, dated December 5, 2002.
- VIII. Amendment No. 8, dated August 15, 2005, approved by the Mayor and City Council of Baltimore by Ordinance No. 05-124, dated October 7, 2005.

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EXHIBITS

1. Land Use Plan, dated as revised 2/11/2004
2. Property Acquisition, dated as revised 2/11/2004
3. Land Disposition, dated as revised 2/11/2004
4. Zoning Districts, dated as revised 2/13/04
5. Unanimous Written Consent of the Board of Directors of East Baltimore Development, Inc. (EBDI) Relative to Relocation, dated November 8, 2002
6. Unanimous Written Consent of the Board of Directors of East Baltimore Development, Inc. (EBDI) Relative to Eligible Business Concerns Initiative and Community Reinvestment, dated November 8, 2002
7. Agreement for Minority Inclusion in the East Baltimore Housing/ Biotech Park Development Project, dated April 15, 2002

“The contents of Exhibits 5, 6, and 7 reflect the intent of EBDI as it participates in the redevelopment process. The inclusion of these Exhibits in this Ordinance does not confer any powers or duties on EBDI that would violate the Charter, including but not limited to Article II, Section 15 (g) or any other law. The powers in Article II, Section 15 (g) have been vested in the Department of Housing and Community Development by Article 13, Subtitle 2 of the Baltimore City Code.”

--- Ordinance 02-455

MIDDLE EAST URBAN RENEWAL PLAN

A. DESCRIPTION OF PROJECT

1. Boundary Description

BEGINNING FOR THE SAME AT THE INTERSECTION OF THE NORTH SIDE OF GAY STREET WITH THE NORTH SIDE OF BIDDLE STREET; THENCE BINDING ON THE NORTH SIDE OF BIDDLE STREET EASTERLY TO INTERSECT THE EAST SIDE OF PATTERSON PARK AVENUE; THENCE BINDING ON THE EAST SIDE OF PATTERSON PARK AVENUE SOUTHERLY TO INTERSECT THE DIVISION LINE BETWEEN LOTS 48 AND 49, WARD 7, SECTION 2, BLOCK 1623; THENCE BINDING ON THE DIVISION LINE BETWEEN SAID LOTS 48 AND 49 EASTERLY TO INTERSECT THE WEST SIDE OF THE FIRST 10-FOOT ALLEY; THENCE BINDING ON SAID ALLEY NORTHERLY TO INTERSECT THE DIVISION LINE BETWEEN LOTS 42 AND 43, WARD 7, SECTION 2, BLOCK 1623; THENCE BINDING ON THE DIVISION LINE BETWEEN SAID LOTS 42 AND 43 EASTERLY TO INTERSECT THE NORTH SIDE OF THE SECOND 10-FOOT ALLEY; THENCE BINDING ON THE NORTH SIDE OF SAID ALLEY EASTERLY TO INTERSECT THE EAST SIDE OF N. BRADFORD STREET; THENCE BINDING ON THE EAST SIDE OF N. BRADFORD STREET SOUTHERLY TO INTERSECT THE NORTH SIDE OF THE THIRD 10-FOOT ALLEY; THENCE BINDING ON THE NORTH SIDE OF SAID ALLEY EASTERLY TO INTERSECT THE WEST SIDE OF MILTON AVENUE; THENCE BINDING ON THE WEST SIDE OF MILTON AVENUE SOUTHERLY TO INTERSECT THE SOUTH SIDE OF A 6'-9" ALLEY SOUTH OF EAST MONUMENT STREET; THENCE BINDING ON THE SOUTH SIDE OF SAID ALLEY WESTERLY TO INTERSECT THE WEST SIDE OF A 4'-4" ALLEY; THENCE BINDING ON THE WEST SIDE OF SAID ALLEY NORTHERLY TO INTERSECT THE SOUTH SIDE OF A 10-FOOT ALLEY; THENCE BINDING ON THE SOUTH SIDE OF SAID ALLEY WESTERLY TO INTERSECT THE WEST SIDE OF N. PORT STREET; THENCE BINDING ON THE WEST SIDE OF N. PORT STREET NORTHERLY TO INTERSECT THE SOUTH SIDE OF A 3-FOOT ALLEY; THENCE BINDING ON THE SOUTH SIDE OF SAID ALLEY WESTERLY TO INTERSECT THE EAST SIDE OF N. MONTFORD AVENUE; THENCE BINDING ON THE EAST SIDE OF N. MONTFORD AVENUE SOUTHERLY TO INTERSECT THE SOUTH SIDE OF FAYETTE STREET; THENCE BINDING ON THE SOUTH SIDE OF FAYETTE STREET WESTERLY TO INTERSECT THE WEST SIDE OF COLLINGTON AVENUE; THENCE BINDING ON THE WEST SIDE OF COLLINGTON AVENUE

NORTHERLY TO INTERSECT THE NORTH SIDE OF ORLEANS STREET; THENCE BINDING ON THE NORTH SIDE OF ORLEANS STREET WESTERLY TO INTERSECT THE EAST SIDE OF WOLFE STREET; THENCE BINDING ON THE EAST SIDE OF WOLFE STREET NORTHERLY TO INTERSECT THE NORTH SIDE OF JEFFERSON STREET; THENCE BINDING ON THE NORTH SIDE OF JEFFERSON STREET EASTERLY TO INTERSECT THE WEST SIDE OF WASHINGTON STREET; THENCE BINDING ON THE WEST SIDE OF WASHINGTON STREET NORTHERLY TO INTERSECT THE NORTH SIDE OF MONUMENT STREET; THENCE BINDING ON THE NORTH SIDE OF MONUMENT STREET EASTERLY TO INTERSECT THE WEST SIDE OF CASTLE STREET; THENCE BINDING ON THE WEST SIDE OF CASTLE STREET NORTHERLY TO INTERSECT THE SOUTH SIDE OF MADISON STREET; THENCE BINDING ON THE SOUTH SIDE OF MADISON STREET WESTERLY TO INTERSECT THE EAST SIDE OF BROADWAY; THENCE BINDING ON THE EAST SIDE OF BROADWAY NORTHERLY TO THE POINT OF BEGINNING.

2. Objectives and Reasons for the Various Provisions of this Plan

- a. To protect the area from blighting influences through clearance, rehabilitation of basically sound structures, and establishment of regulations.
- b. To provide housing resources for households of varying income levels through rehabilitation and new construction of residential properties. In the East Baltimore Development Project Area (as hereinafter defined), developer(s) will use reasonable efforts to make housing available for purchase or for rent to all residents who have been relocated from the area as a result of the redevelopment of the area and are interested in returning to live in the area. Reasonable efforts will include giving such residents the right of first opportunity to purchase or rent housing in the area and providing all such residents with regular notification of the availability of housing units for purchase or rent in the area.
- c. To facilitate the development of community facilities.
- d. To bring about a general physical improvement in the area by coordinated public improvements.
- e. Over and above the codes and ordinances of the City of Baltimore, the design guidelines in Appendix E shall be applied to all residential properties and on-residential properties for both rehabilitation and new construction except for non-residential properties within the East Monument Street Business Area.
- f. To construct the biotech center at a scale compatible with the neighborhood.
- g. To rebuild and revitalize the neighborhood using flexible block designs.

B. LAND USE PLAN

(1) Permitted Land Uses

Only the use categories shown on the Land Use Plan Map, Exhibit No.1, shall be permitted within the project area. These are Residential, Commercial, Industrial, Public, and Institutional. In addition, certain uses, for the most part mixed uses, will be permitted to continue subject to the provisions governing non-conforming and non-complying uses set forth in Sections B.1.f. and B.1.g. below.

a. Residential

Residential uses shall be those permitted by the Zoning Code of Baltimore City.

b. Commercial

(1) Commercial uses permitted shall be those permitted under the B-1 (Neighborhood Business) and B-2 (Community business) and B-3 (Community Commercial) use categories of the Zoning Code of Baltimore City.

(2) After enactment of Amendment No. 4 to this Plan, no new establishments that sell alcoholic beverages shall be permitted in the Middle East Urban Renewal Area.

c. Industrial

Industrial uses shall be those permitted by the Zoning Code of Baltimore City.

d. Public

In the area designated Public on the Land Use Plan Map, uses shall be limited to parks, playgrounds, plazas, and malls; active and passive recreation; schools and related educational facilities; neighborhood centers; medical centers; public offices; libraries; fire houses; parking; other public facilities.

e. Institutional

In the area designated Institutional on the Land Use Plan Map, uses are limited to active and passive recreation; hospitals, medical centers, and related medical facilities; neighborhood centers, parks, and playgrounds; plazas and malls; schools and related educational facilities; and off-street parking.

f. Non-Conforming

A non-conforming use is any lawfully existing use of a building or other structure, or of land that does not conform to the applicable use regulations of the district in which it is located according to Title 13 of the Zoning Code of Baltimore City. Non-conforming uses shall be permitted to continue, subject to the provisions of Title 13.

g. Non-Complying

A non-complying use, as set forth in Title 13 of the Zoning Code of Baltimore City, is any lawfully existing structure that does not comply with the bulk regulations of the zoning district in which it is located. These non-complying uses shall be permitted to continue, subject to the provisions of Title 13.

In addition a non-complying use – when such term is used in this plan – is any lawfully existing use of a building or other structure, or of land, which does not comply with the land use regulations of this Plan. These non-complying uses shall be permitted to continue for an indefinite period of time, except that:

- (1) any non-complying land use which is discontinued for a period exceeding 12 months shall not be re-established;
- (2) no charge in the permanent physical members of a structure, such as bearing walls, columns, beams, or girders, or no substantial change in the roof or in the exterior walls shall be made in or to a building or structure except those required by law or except to make the building and use thereof conform to the regulations of this Plan; and
- (3) no non-complying land use shall be changed to any other non-complying land use.

h. PUD Standards and Controls

The development of the East Baltimore Biotech Center and the surrounding area (collectively, the “East Baltimore Development Project Area”, as described in Exhibit F) shall require the preparation of a comprehensive plan of development that is approved through a process that has substantial community involvement. “Substantial community involvement” means: community participation that is consistent with the required approval of the Planned Unit Developments (PUDs). In addition, PUDs shall be encouraged (and for any phase after the initial phase, required) or, per Section 9-105(b) of the Zoning Code or as otherwise permitted by law, initiated by the Planning Commission itself to (1) establish unitary control over the East Baltimore Development Project Area, rather than lot- by- lot regulation; (2) achieve

maximum coordination between or among each PUD and neighboring land uses; (3) provide greater flexibility to the redeveloper; (4) allow for greater involvement by the impacted community; (5) ensure that significant housing resources are made available to households of varying income levels, specifically, low income (50% or less of the median income applicable to Baltimore City as published and annually updated by the United States Department of Housing and Community Development), moderate income (making more than 50% of median income applicable to Baltimore City but less than 100% of median income, using a combination of price adjustments and buyer financing assistance programs, sponsored by the State of Maryland and other sources), and market rate without regard to income; (6) in with subparagraph 5, ensure that the Development Project Area provides (excluding student housing) one-third low income housing, one-third moderate income housing, and one-third market rate housing; and (7) optimize the preservation of existing historic buildings and the unique historic character of the East Baltimore Development Project Area for Baltimore residents and visitors. In the event that a PUD is not utilized, there shall be no significant development within the East Baltimore Development Project Area or the completion of a comprehensive plan development for the East Baltimore Development Project Area without substantial community involvement, as defined above.

The Development Project Area shall be developed in accordance with the “Land Disposition and Development Agreement” between the Mayor and City Council of Baltimore and East Baltimore Development, Inc., effective April 28, 2004, as amended from time to time.

2. Regulations, Controls, and Restrictions

a. Provisions Applicable to all Land and Property to be Acquired

The following regulations, controls, and restrictions will be implemented where applicable by covenants, or other provisions in the agreements for land disposition and instruments of conveyance executed pursuant thereto:

(1) General Provisions

- (a) No buildings, structure, or parking area shall be constructed over an easement within the Project Area without the prior consent of the Commissioner of the Department of Housing and Community Development and the Director of the Department of Public Works.
- (b) No materials shall be stored or permitted to remain outside buildings. No waste material, refuse, or garbage shall be permitted by the Baltimore City regulations regarding containers for garbage; the areas for such containers shall be properly screened from adjacent properties and properties and public streets and alleys.

- (c) All land not covered by structures, paved parking, loading or related service areas, paved areas for pedestrian circulation, or decorative surface treatments, shall be provided with landscape treatment. Landscape treatment encompasses the planting of any, all or a combination of the following: trees, shrubs, ground cover, grass, flowers. The amount of landscape treatment should be determined by the nature of the development and should serve to improve the utility of the site, enhance building design, and soften and relieve the environmental and visual impact of the development. All screening and landscaping shall be maintained in good condition.
- (d) Exterior ventilation equipment or any mechanical equipment placed outside of a building, including on the roof, shall be effectively screened.
- (e) Over and above the codes and ordinances of the City of Baltimore, the design guidelines in Appendix D * shall be applied to all residential properties and non-residential properties for both rehabilitation and new construction except for non-residential properties within the East Monument Street Business Area. Specific addresses of properties comprising the East Monument Street Business Area are indicated in Appendix B Section 2.

** [sic! – this reference should (have) be(-en) corrected to read “Appendix E” – Ed.]*

- (f) The Redeveloper shall not enter into, execute, or be a party to any covenant, agreement, lease, deed, assignment, conveyance, or any other written instrument which restricts the sale, lease, use or occupancy of the property, or any part thereof or any improvements placed thereon, upon the basis of national origin, race, religion, sex or color. Such agreement or covenant providing for this nondiscrimination provision shall be included in the instruments and the City of Baltimore shall be deemed a beneficiary of such covenants and shall be entitled to enforce it. The Redeveloper shall comply with all State and local laws in effect from time to time, prohibiting discrimination or segregation.

b. Provisions Applicable to All Land and Property Not to be Acquired

(1) General Provisions

The provisions of Section B.1 (Permitted Uses) above shall apply to all properties not to be acquired within the project area. The provisions of Section B.2.a. shall apply as appropriate to properties not currently proposed to be acquired by this Plan if the owners thereof acquire adjacent project land made available to the Department of Housing and Community Development under the provisions of this Plan.

(2) Review of Plans for New Construction, Exterior Rehabilitation, or Change in Use

All plans for new construction (including parking lots), exterior rehabilitation, or change in use on any property not to be acquired under the provisions of this Plan shall be submitted to the Department of Housing and Community Development for review.

Only upon finding that the proposed plans are consistent with the objectives of the urban renewal plan, shall the Commissioner of the Department of Housing and Community Development authorize the processing of the plans for issuance of a building permit. The provisions of this section are in addition to and not in lieu of all other applicable laws and ordinances relating to new construction.

(3) Demolition

All applications for demolition permits shall be submitted to the Department of Housing and Community Development for review and approval. Upon finding that the proposed demolition is consistent with the objectives of the urban renewal plan, the Commissioner of the Department of Housing and Community Development shall authorize the issuance of the necessary permit. If the Commissioner finds that the proposal is inconsistent with the objectives of the urban renewal plan and therefore denies the issuance of the permit, he shall, within 90 days of such denial, seek approval of the Board of Estimates to acquire for and on behalf of the Mayor and City Council of Baltimore, the property, in whole or in part, on which said demolition was to have occurred, by purchase, lease, condemnation, gift or other legal means for the renovation, rehabilitation and disposition thereof. In the event that the Board of Estimates does not authorize the acquisition, the Commissioner shall, without delay, issue the demolition permit.

C. TECHNIQUES USED TO ACHIEVE PLAN OBJECTIVES

1. Acquisition

a. Purposes for Acquiring Properties Within the Project Area

Properties designated for acquisition on the Property Acquisition Map, Exhibit 2, will be acquired either for clearance and redevelopment, for rehabilitation, or for public facilities.

b. Conditions Under Which Properties Not Designated for Acquisition May Be Acquired

(1) Non-Salvable and Non-Compliance with Provisions

It may be necessary to acquire by purchase or by condemnation for urban renewal purposes, the fee simple interest or any lesser interest in and to such of the remaining properties or portions thereof in Middle East not specifically designated for acquisition on the Property Acquisition Map, Exhibit 2, as may be deemed necessary and proper by the Commissioner of the Department of Housing and Community Development to effect the proper implementation of the project. This may include:

- (a) Any property in the Project Area containing a non-salvable structure, i.e., a structure which, in the opinion of the Commissioner of the Department of Housing and Community Development, cannot be economically rehabilitated.

- (b) Any property the owner of which is unable or unwilling to comply or conform to the codes and ordinances of Baltimore City within 12 months from the date of written notice of the required improvements, the Department of Housing and Community Development, after due consideration that the property owner has failed to achieve substantial conformity with the codes and ordinances of Baltimore City may acquire such property pursuant to the Eminent Domain Law of this State as if the property had originally been planned for acquisition after 90 days written notice to the owner. The Department of Housing and Community Development reserves the right to acquire any such non-complying property for a period of two (2) years from the date of said written 90 days notice by the Department of Housing and Community Development.

(2) Additional reasons for acquisition:

VIII

It may be necessary to acquire by purchase or condemnation for urban renewal purposes the fee simple interest or any lesser interest in and to properties or portions of properties in the Middle East Urban Renewal Area not specifically designated for acquisition on the Property Acquisition Map (Exhibit No. 2), Appendix A, Appendix C, or Appendix D, as may be deemed necessary and proper by the Commissioner of the Department of Housing and Community Development in order to carry out rehabilitation by the Department of Housing and Community Development or for resale.

These properties may be acquired because:

- (a) it is necessary to make residential structures available for occupancy by low- and moderate-income families; or
- (b) rehabilitation on a structure-by-structure basis is infeasible and assemblage of a group of properties is required to carry out the objectives set forth in this Plan; or
- (c) rehabilitation of individual, scattered properties is necessary in order to remove blighting influences from otherwise sound residential blocks.

c. Actions to be Followed by the Department of Housing and Community Development Upon Acquisition of Properties

Upon the acquisition of properties, the Department of Housing and Community Development will either:

- (1) Demolish the structure or structures thereon and dispose of the land for redevelopment for use in accordance with this Plan; or
- (2) Sell or lease the property subject to rehabilitation in conformance with the codes and ordinance of Baltimore City; or

- (3) Rehabilitate the property in conformance with the codes and ordinances of Baltimore City and dispose of property in accordance with applicable regulations. If sale cannot be consummated by the time rehabilitation is accomplished, property may be rented pending continuing sale efforts.

d. Conditions Under Which Property Designated for Acquisition May be Removed From the Approved List.

Properties designated for acquisition on the Property Acquisition Map, Exhibit 2, and located within the urban renewal area, may be deleted from acquisition list by the Commissioner of the Department of Housing and Community Development, as may be deemed appropriate and proper, provided such action is in accord with the goals of the project. This may include: any residential property, the owner of which agrees to rehabilitate and bring into compliance with the codes and ordinances of Baltimore City and the provisions of this plan, may apply to the Commissioner of Housing and Community Development for a provisional stay of the acquisition of such property. The Commissioner, after a review of the plans and specifications of such work and of the financial ability of the owner to timely complete such work may grant a provisional stay of acquisition upon such conditions as the Commissioner may impose. Upon the timely completion of all work on the property and fulfillment of all the conditions imposed by the Commissioner as aforesaid, the Commissioner may permanently delete the Property from Acquisition as part of the project. Any such action of the Commissioner shall be in writing and a copy of such action will be forwarded to the Department of Planning for incorporation or attachment to the Plan. The Department of Planning shall file a copy of such action with the Department of Legislative Reference.

2. Rehabilitation

Property rehabilitation shall comply with the codes and ordinances of the City of Baltimore. Cleaning of masonry façades by means of sandblasting shall not be permitted, except where sandblasting is determined by the Commissioner of the Department of Housing and Community Development to be the only feasible means of surface cleaning and where in the Commissioner's opinion, it will not cause damage to historic building materials.

Over and above the codes and ordinances of the City of Baltimore, the provisions set forth in Appendix B, Section 2 of this Plan, shall be applied to all non-residential properties within the East Monument Business Area, whether occupied or vacant. Specific addresses of properties comprising the East Monument Street Business area are indicated in Appendix B, Section 1.

3. Relocation

- a. The Department of Housing and Community Development assures that before individuals or families are displaced from their dwelling units due to the requirements of this Plan, standard housing within the displacees' financial means shall be provided. Residents living within the Project Area, if displaced through the requirements of this Plan, shall be given a priority by the Department of Housing and Community Development to any housing within the Project Area over which the Department has direct control.

- b. The Department of Housing and Community Development assures that before firms or individual businesses are displaced from their present location of operation due to the requirements of this Plan, standard commercial structures within the displacees' financial means, in or near the Project Area shall be identified. Businesses displaced because of the requirements of this Plan shall be given favorable consideration, but not necessarily priority, by the Department of Housing and Community Development in the review of commercial redevelopment proposals.

4. Review of Development

- a. Department of Housing and Community Development Review

- (1) Land to be Acquired and Disposed of

The Department of Housing and Community Development specifically reserves the right to review and approve the Redeveloper's plans and specifications for development or rehabilitation with respect to their conformance with the provisions of the renewal plan and in order to achieve harmonious development of the Project Area. The Department also reserves the right to refuse to approve any such drawings, plans or specifications that are not suitable or desirable, in its opinion, for aesthetic or functional reasons; and in so passing upon such drawings, plans and specifications, it shall have the right to take into consideration, but shall not be limited to, the suitability of the site plans, architectural treatment, building plans, elevations, materials and color, construction details, access, parking, loading, landscaping, identification signs, exterior lighting, refuse collection details, streets, sidewalks and the harmony of the plans with the surrounding.

The Department of Housing and Community Development will fully utilize its Design Advisory Panel to work with developers in the achievement of high quality site, building, and landscape design.

- b. Community Review

The Department of Housing and Community Development may submit to the Middle East Community Organization and the East Monument Street Merchants Association, or their successors or their assignees, for their review and comment, the form and content of all proposals to redevelop land to be disposed of and the Preliminary and proposed Final Construction Plans for each disposition lot designated in this Plan. The Commissioner of the Department of Housing and Community Development may also, at his discretion, submit to the above-named Committees, or their successors or their assignees, for their review and comments, the plans for development or rehabilitation on any property not to be acquired. The Middle East Community Organization and the East Monument Street Merchants Association, or their successors or their assignees, shall advise the Department of Housing and Community Development of their recommendations regarding the acceptability and/or priority of all plans and proposals. The written comments shall be

transmitted to the Department of Housing and Community Development no later than 3 weeks after the proposals and/or plans have been submitted to the Middle East Community Organization and the East Monument Street Merchants Association, or their successors or their assignees, otherwise it is presumed that the proposals and/or plans are acceptable. The Commissioner of the Department of Housing and Community Development retains final authority to approve and disapprove all plans and to grant or withhold development priorities, disposing of redevelopment land through procedures established by the Department of Housing and Community Development.

5. Land Disposition

- a. Land and property interests acquired by the Mayor and City Council within the Project Area will be disposed of by sale, lease, conveyance, transfer or other means available to the City, in accordance with the Land Disposition Map, Exhibit 3.
- b. The parcels shown on the Exhibit are schematic and approximate. The Department of +Housing and Community Development shall have the right, in its discretion, to fix their precise boundaries and size. For purposes of disposition, the parcels or lots, as shown on Exhibit 3 may be subdivided or combined.

6. Zoning

All appropriate provisions of the Zoning Ordinance of Baltimore City shall apply to properties in the Middle East Area. Any change in the Zoning Ordinance embodied in this Urban Renewal Plan and designated on Exhibit 4, Zoning District Map, shall be approved by ordinance in accordance with the procedural requirements of the Zoning Ordinance and Article 66-B of the Annotated Code of Maryland (1957 Edition, as amended).

D. DURATION OF PROVISIONS AND REQUIREMENTS

The Middle East Urban Renewal Plan, as it may be amended from time to time, shall be in full force and effect for a period of forty (40) years from the date of original adoption of this Renewal Plan by ordinance of the Mayor and City Council of Baltimore.

E. PROCEDURES FOR CHANGES IN APPROVED PLAN

The Department of Housing and Community Development shall submit to the Middle East Community Organization and the East Monument Street Merchants Association, or their successors, for their review and comments all proposed amendments to the urban renewal plan no later than at the time the proposed amendments are submitted to the Director of the City Planning Department by the Department of Housing and Community Development. The written comments and recommendations from this review shall be submitted to the Department of Housing and Community Development no later than 3 weeks after they have been submitted to the Middle East Community Organization and the East Monument Street Merchants Association or their successors; otherwise it is presumed the proposed changes are satisfactory. Prior to passage of

any ordinance amending the urban renewal plan, a public hearing shall be held. The Middle East Community Organization and the East Monument Street Merchants Association or their successors, shall receive, at least ten days prior to such hearing, written notice of the time and place of such hearing. With respect to any land in the Project Area previously disposed of by the City for use in accordance with the urban renewal plan, the then owner of such land, whose interests therein are materially affected by such changes, shall receive, at least ten days prior to such hearing, written notice of the time and place of such hearing and information as to where a copy of the proposed amendments may be inspected.

F. SEPARABILITY

In the event it be judicially determined that any word, phrase, clause, sentence, paragraph, section or part in or of this Plan, or the application thereof to any person or circumstances is invalid, the remaining provisions and the application of such provisions to other persons or circumstances shall not be affected thereby, it being hereby declared that the remaining provisions of this Plan without the word, phrase, clause, sentence, paragraph, section or part, or the application thereof, so held invalid would have been adopted and approved.

APPENDIX A

PROPERTIES FOR ACQUISITION AND DISPOSITION FOR REHABILITATION

In addition to those groups of properties to be acquired and disposed of for redevelopment (designated with Disposition Lot numbers on Exhibit 3), the following properties are also being acquired and disposed of for rehabilitation. Certain properties listed below may be used, in whole or in part, as rear or side yard space for adjacent property.

1706 Ashland Avenue	
1728 Ashland Avenue	
1730 Ashland Avenue	734 N. Patterson Park Avenue
1732 Ashland Avenue	938 N. Patterson Park Avenue
1745 Ashland Avenue	942 N. Patterson Park Avenue
1746 Ashland Avenue	
1802 Ashland Avenue	801 Rutland Avenue
1826 Ashland Avenue	803 Rutland Avenue
1907 Ashland Avenue	806 Rutland Avenue
1914 Ashland Avenue	
2011 Ashland Avenue	900 N. Washington Street
2016 Ashland Avenue	904 N. Washington Street
2206 Ashland Avenue	915 N. Washington Street
	939 N. Washington Street
906 N. Castle Street	1008 N. Washington Street
944 N. Castle Street	1014 N. Washington Street
	1024 N. Washington Street
1935 E. Chase Street	1030 N. Washington Street
	1034 N. Washington Street
411 N. Chester Street	
901-903 N. Chester Street	920 N. Wolfe Street
912 N. Chester Street	922 N. Wolfe Street
930 N. Chester Street	928 N. Wolfe Street
931 N. Chester Street	1007 N. Wolfe Street
932 N. Chester Street	1008 N. Wolfe Street
933 N. Chester Street	1010 N. Wolfe Street
937 N. Chester Street	1022 N. Wolfe Street
953 N. Chester Street	1024 N. Wolfe Street
968-970 N. Chester Street	1026 N. Wolfe Street
971 N. Chester Street	1028 N. Wolfe Street
	1030 N. Wolfe Street
903 N. Collington Avenue	1040 N. Wolfe Street

2000 E. Eager Street
2003 E. Eager Street
2022 E. Eager Street
2031 E. Eager Street
2033 E. Eager Street
2034 E. Eager Street
2036 E. Eager Street
2048 E. Eager Street

2309 McElderry Street, rear
stable structure only

APPENDIX B

EAST MONUMENT STREET BUSINESS AREA: PROPERTIES AND EXTERIOR REHABILITATION STANDARDS

Section 1: Properties Within the East Monument Street Business Area

The following properties constitute the East Monument Street Business Area as of the effective date of the ordinance approving Amendment No. 4 to this Urban Renewal Plan.

N. Chester Street

600
602
604
606
608
610
612
614
616
618-620
622
624-626
628
630
632
634
636
709
711
713

N. Duncan Street

611
613
615
617-619
621
623
625
627
629
631
633

N. Collington Avenue

602
608
610
612
614
615
616
617
618
619
620
621
623
625
627
629

E. Monument Street

2001
2003
2005
2007
2009
2011
2013
2015
2017
2019
2021
2023
2025
2027-2043
2047
2049

<u>McElderry Street</u>	<u>E. Monument Street (continued)</u>
2109	2051
2111-2115	2053
2117-2119	2100
2122-2124	2101
2126-2138	2102-2106
2140	2108
	2110
	2112-2114
	2113-2115
	2116
	2117
	2118-2120
	2119
	2121
	2122
	2123
	2124
	2125
	2126
	2127-2129
<u>E. Monument Street (continued)</u>	
2200	2337
2201	2338
2202	2339
2204-2208	2340
2209	2341
2210	2342
2211	2343
2212	2400-2404
2213-2221	2401
2214	2403
2218	2405
2220	2406
2222-2224	2407
2226	2408
2228	2409
2230	2410
2232	2411
2233	2412
2234	2413
2235	2414
2237	2415
2238	2416
2241	2417

E. Monument Street (continued)

2300-2308	2418
2301	2419
2303	2420
2305	2421
2307	2422
2309	2423
2310	2424
rear of 2310 (Lot 90, Block 1623)	2425
2311	2426
2312	2427
2313	2429-2431
2314-2316	2430
2315	2432
2317	2433
2318	2434
2319	2435
2321	2436
2322	2437
2323	2438
2324	2439
2325	2440
2326-2328	2441
2327-2329	2442
2330-2332	2443
2331	
2333	
2334	
2335	
2336	

APPENDIX B

EAST MONUMENT STREET BUSINESS AREA: PROPERTIES AND EXTERIOR REHABILITATION STANDARDS

Section 2: Exterior Rehabilitation Standards

Over and above the codes and ordinances of the City of Baltimore, the following additional standards shall be applied to all non-residential properties, whether occupied or vacant, within the East Monument Street Business Area. The addresses of properties comprising the East Monument Street Business Area are identified in Section 1 of Appendix B.

a. Windows

- (1) Windows in non-residential structures not in the front of buildings shall be kept properly repaired or with Fire Department approval, the openings may be closed to match as closely as possible the material, design and finish of the adjacent wall, or with closed shutters, or with a painted wood panel with finished trim around all edges.
- (2) All windows must be tight-fitting and have sashes of proper size and design. Sashes with rotten wood, broken joints, or broken or loose mullions or muntins shall be replaced. All broken and missing windows shall be replaced. All exposed wood shall be repaired and painted.
- (3) Window openings on the front of the buildings shall not be filled or boarded-up, except window openings in upper floors may be filled or boarded-up when covered with toned opaque glass or closed shutters.
- (4) Windows in unused areas of the upper floors may have an opaque or solid surface as security may require on the inside of the glass. If the building front is redesigned and completely renovated or rebuilt, the trim may be removed and openings reduced or closed under plans approved by the Department of Housing and Community Development.

b. Building Fronts and Sides

- (1) All structural and decorative elements of building fronts shall be repaired or replaced in a workmanlike manner so as to be harmonious with the original materials and construction of that building.
- (2) All cornices of a building shall be made structurally sound. Rotten or weakened portions shall be removed and repaired or replaced to match as closely as possible the existing patterns on that building. All exposed wood shall be painted.

(3) A show window as part of the building façade shall be defined to include:

- (a) the building face and the entrance area leading to the door;
- (b) the door, sidelights, transoms and all display platforms and devices including lighting and signing designed to be viewed from the public right-of-way and/or the areas visible to the public prior to entering the interior portion of the structure.

Show windows, entrances, signs, lighting, sun protection and other show window elements shall be designed to be compatible and harmonious and consistent with the scale and character of the existing structures.

All exposed portions of security grilles and screens which are painted in normal practice and all portions which require painting to preserve, protect or renovate the surface shall be painted. Non-metal grilles and screens shall be prohibited.

All new and existing screens and grilles over show windows parallel with streets must be constructed so they can be opened or removed, except grilles over transoms and narrow sidelights which may be non-opening subject to the approval of the Department of Housing and Community Development. Such screens and grilles shall be opened or removed during the normal business hours of that business.

(4) Awnings

- (a) Rigid awnings or sun screens shall not be placed on any portion of a building except that such fixed awnings or sun screens may be permitted by the Department of Housing and Community Development.

- (b) Painted or inlaid signs on cloth awnings are permitted.

(5) The use of formstone, non-ceramic brick, woodshakes, simulated woodshakes, pebble board and aluminum lap siding shall be prohibited in the future on the fronts and sides of buildings facing on a street.

(6) All walls must present a neat finished appearance. Any patches or repairs must match the surrounding materials.

(7) Display of goods shall be restricted to the inside of store premises with the exception of special sales events sponsored by the East Monument Street Merchant's Association and with the permission of the Department of Housing and Community Development.

c. Signs

(1) General

Product advertising or supplier product signs are permitted provided (I) The sign or signs in total are no larger than 25% of the area of the allowable sign for the building or 12 square feet, whichever is smaller, and (II) The sign is not a general advertising sign (as defined in Zoning Code §11-101). All lighting and electrical elements such as wires, conduits, junction boxes, transformers, ballasts, switches and panel boxes must be concealed from view as much as possible.

(2) Flat Signs

- (a) Flat signs shall be placed parallel to the building face and shall not project more than 12" from the surface of the building and shall not exceed in area three feet times the width in feet of the frontage of the building. In the case of corner properties, each façade is to be calculated separately as to size allowed for each. Except where a continuous permanent canopy exists, flat signs shall be placed no higher than the bottom of the second story window where windows exist or 13 feet above grade level, whichever is lower. Signs shall not be placed so as to obstruct windows, storefronts or cornices.
- (b) A sign shall be permitted at rear entrance doors but shall not exceed six square feet in size.
- (c) Where a continuous permanent canopy exists, flat signs may be placed no more than 10 feet above the canopy deck surface, provided the building façade above the canopy has no windows. Additionally, flat signs may be constructed integrally with the fascia of the canopy.

(3) Projecting Signs

- (a) Projecting signs shall be permitted under the following guidelines:

- i. Existing Signs

Sign areas shall be limited to 1 sq. ft. per each 45 sq. ft. of front face building area (width times height); sign figured on 1 side only.

Projection From Building Face

<u>Front Façade Area</u>	<u>Projection</u>
Up to 2,000 sq. ft.	4'
2,000 sq. ft. to 4,000 sq. ft.	5'
4,000 sq. ft. and above	6'

All existing sign hardware (brackets, hanging mechanisms, frames, etc.) must be painted a neutral color (tan or gray). All existing signs must be brought up to “like new” condition (painted or repaired).

ii. New Signs

Sign areas shall be limited to 1 sq. ft. per each 45 sq. ft. of front façade area (sign area figured on 1 side only).

Projection: Up to 2,000 sq. ft. - 4’
2,000 sq. ft. and above - 5’

Mounting Height: Maximum at top edge of sign - 15”
Minimum - 10’

All signs shall be doubled-faced with maximum thickness of 12”. Mounting hardware shall not extend beyond sign dimensions (not higher or lower than sign; not wider than sign thickness).

- (b) All signs shall be designed to be compatible with the individual building design, as determined by the Department of Housing and Community Development. In no case shall a sign extend above a roof line. No projecting signs shall be permitted above the canopy in the 2200 block of E. Monument Street.
- (c) When the existing projecting signs are removed, all unused brackets and conduits shall be removed. Any holes or other damage shall be patched and painted as necessary to match the existing wall surface.
- (d) Where a continuous permanent canopy exists, a projecting sign may be mounted under the canopy a minimum of 8’- 0” above the mean curb level but shall not extend beyond 2 feet from the soffit. These signs will be centered under the canopy and 12” x 48” in size.

(4) Painted Signs and Cutout Letters

Painted signs on building surfaces or use or separate cutout letters shall be permitted in accordance with the above limits for flat signs.

(5) Secondary Signs

A non-illuminated secondary sign shall be permitted for the upper floors of a building. Such signs shall not exceed one (1) square foot in area and shall not project more than one inch beyond the surface of the building, nor shall they be placed higher than 15 feet above grade level.

(5) Secondary Signs

A non-illuminated secondary sign shall be permitted for the upper floors of a building. Such signs shall not exceed one (1) square foot in area and shall not project more than one inch beyond the surface of the building, nor shall they be placed higher than 15 feet above grade level.

(6) Roof Top Signs

Roof top signs, signs above the parapet of a building, except as otherwise herein provided, shall not be permitted.

(7) Flashing or Moving Signs

Flashing or moving signs other than barber poles shall not be permitted.

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(8) General Advertising Signs

No new general advertising sign (as defined in Zoning Code §11-101) is permitted.

(9) Non-Conforming Signs

Existing signs not conforming to the above regulations shall not be allowed to remain. All new signs shall conform to the above regulations. No future minor privilege permits for signs shall be approved in the East Monument Street Business Area, except upon certification by the Commissioner of the Department of Housing and Community Development that such signs meet project design criteria.

d. Canopies

In the event a group of property owners, representing more than two-thirds of the frontage of any block or half block within the project area, agree to provide a continuous permanent canopy as described below, then the provisions of such canopy shall become a requirement for the entire block or entire half block as an integral part of these Property Rehabilitation Standards.

Prior to any enforcement of this subparagraph, the East Monument Street Merchant's Association shall transmit to the Department of Housing and Community Development written evidence that a group of property owners representing more than two-thirds of the frontage of a particular block or half block within the project area agree to provide a continuous permanent canopy, as described below.

- (1) In any block or half block where it is a requirement of these Property Rehabilitation Standards, the continuous permanent canopy shall be uniform in design to the greatest possible extent, extend no less than 10'-0" and no more than 11'-0" from the building face into the public sidewalk and shall be supported by metal columns, beams and decks. The canopy shall be designed by the East Monument Street Merchant's Association or their representative and approved by the Department of Housing and Community Development.
- (2) The construction of the continuous permanent canopy shall be a joint effort on the part of all affected property owners with all costs shared on a pro rata front footage basis. To facilitate coordination of this effort and to take advantage of economies of scale, one of two approaches may be pursued:
 - (a) funds shall be paid into a special purpose escrow account with authority to contract the required work residing in the East Monument Street Merchants Association, or
 - (b) the City of Baltimore shall contract the required work and all subsequent necessary maintenance and assess each affected property owner on a pro rata front footage basis in a manner consistent with the provisions of Article 26 of the Baltimore City Code.

e. Period of Compliance

To the extent that rehabilitation requirements for commercial uses are specifically applicable to the East Monument Street Business Area and are not generally required elsewhere, the work necessary to meet such requirements shall be completed within 18 months from the effective date of the ordinance approving Amendment No. 4 to this Plan, unless extended by the Commissioner of the Department of Housing and Community Development. Thereafter, all work shall be completed in accordance with the date of completion set forth in the notice from the Commissioner.

f. Conformance with Rehabilitation Standards

No work, alterations, or improvements shall be undertaken after enactment of the ordinance approving Amendment No. 4 to this Plan which do not conform with the requirements herein. However, the Commissioner may waive compliance with one or more of these standards if the proposed improvements do not adversely affect the objectives of the East Monument Street Business Area. In the event of a dispute regarding the meaning of any standard or requirement contained in this Plan, the Commissioner shall have final and exclusive authority to determine the meaning of said standard or requirements.

PROPERTIES FOR ACQUISITION AND DISPOSITION
FOR REHABILITATION OR REDEVELOPMENT

In addition to those groups of properties to be acquired and disposed of for redevelopment (designated with Disposition Lot numbers on Exhibit 3 and in Appendix A), the following properties are also being acquired and disposed of for rehabilitation or redevelopment. Certain properties listed below may be used, in whole or in part, as rear or side yard space for adjacent property. The acquisition of properties adjacent to or abutting streets and alleys being closed will also include all rights, title and interest or any private rights of use in and to the adjacent streets, rights of way or alleys.

1723 Ashland Avenue
1729 Ashland Avenue
1731 Ashland Avenue
1733 Ashland Avenue
1735 Ashland Avenue
1743 Ashland Avenue
1745 Ashland Avenue
1747 Ashland Avenue
1749 Ashland Avenue

1027 N. Broadway
1033 N. Broadway
1041 N. Broadway

1704 E. Madison Street
1728 E. Madison Street
1730 E. Madison Street
1734 E. Madison Street
1736 E. Madison Street
1740 E. Madison Street

803 McDonogh Street
810 McDonogh Street
812 McDonogh Street

PROPERTIES FOR ACQUISITION AND DISPOSITIONFOR REHABILITATION OR REDEVELOPMENT

IN ADDITION TO THOSE GROUPS OF PROPERTIES TO BE ACQUIRED AND DISPOSED OF FOR REDEVELOPMENT (DESIGNATED WITH DISPOSITION LOT NUMBERS ON EXHIBIT 3, IN APPENDIX A AND IN APPENDIX C), THE FOLLOWING PROPERTIES ARE ALSO BEING ACQUIRED AND DISPOSED OF FOR REHABILITATION OR REDEVELOPMENT. CERTAIN PROPERTIES LISTED BELOW MAY BE USED IN WHOLE OR IN PART, AS REAR OR SIDE YARD SPACE FOR ADJACENT PROPERTY. THE ACQUISITION OF PROPERTIES ADJACENT TO OR ABUTTING STREETS AND ALLEYS BEING CLOSED WILL ALSO INCLUDE ALL RIGHTS, TITLE, AND INTEREST OR ANY PRIVATE RIGHTS OF USE IN AND TO THE ADJACENT STREETS, RIGHTS-OF-WAY, OR ALLEYS.

“Section 5. AND BE IT FURTHER ORDAINED, That this Ordinance takes effect on the date it is enacted, except that involuntary acquisition of properties listed in Appendix D takes effect on April 1, 2003.”

-- Ordinance 02-455

1.	1704	ASHLAND	AVE	44.	1814	ASHLAND	AVE
2.	1706	ASHLAND	AVE	45.	1815	ASHLAND	AVE
3.	1708	ASHLAND	AVE	46.	1816	ASHLAND	AVE
4.	1710	ASHLAND	AVE	47.	1817	ASHLAND	AVE
5.	1712	ASHLAND	AVE	48.	1818	ASHLAND	AVE
6.	1714	ASHLAND	AVE	49.	1819	ASHLAND	AVE
7.	1716	ASHLAND	AVE	50.	1820	ASHLAND	AVE
9.	1718	ASHLAND	AVE	51.	1821	ASHLAND	AVE
10.	1720	ASHLAND	AVE	52.	1822	ASHLAND	AVE
12.	1722	ASHLAND	AVE	53.	1823	ASHLAND	AVE
14.	1724	ASHLAND	AVE	54.	1824	ASHLAND	AVE
16.	1726	ASHLAND	AVE	55.	1825	ASHLAND	AVE
19.	1730	ASHLAND	AVE	56.	1826	ASHLAND	AVE
21.	1732	ASHLAND	AVE	57.	1827	ASHLAND	AVE
23.	1734	ASHLAND	AVE	58.	1828	ASHLAND	AVE
25.	1736	ASHLAND	AVE	59.	1829	ASHLAND	AVE
26.	1738	ASHLAND	AVE	60.	1830	ASHLAND	AVE
28.	1740	ASHLAND	AVE	61.	1831	ASHLAND	AVE
29.	1742	ASHLAND	AVE	62.	1832	ASHLAND	AVE
31.	1744	ASHLAND	AVE	63.	1833	ASHLAND	AVE
33.	1746	ASHLAND	AVE	64.	1834	ASHLAND	AVE
36.	1800	ASHLAND	AVE	65.	1835	ASHLAND	AVE
37.	1802	ASHLAND	AVE	66.	1836	ASHLAND	AVE
38.	1804	ASHLAND	AVE	67.	1838	ASHLAND	AVE
39.	1806	ASHLAND	AVE	68.	1903	ASHLAND	AVE
40.	1808	ASHLAND	AVE	69.	1904	ASHLAND	AVE
41.	1810	ASHLAND	AVE	70.	1905	ASHLAND	AVE
42.	1812	ASHLAND	AVE	71.	1906	ASHLAND	AVE
43.	1813	ASHLAND	AVE	72.	1907	ASHLAND	AVE

73.	1908	ASHLAND	AVE	122.	2118	ASHLAND	AVE
74.	1909	ASHLAND	AVE	123.	2120	ASHLAND	AVE
75.	1910	ASHLAND	AVE	124.	2122	ASHLAND	AVE
76.	1911	ASHLAND	AVE	125.	2124	ASHLAND	AVE
77.	1913	ASHLAND	AVE	126.	2126	ASHLAND	AVE
78.	1914	ASHLAND	AVE	127.	2201	ASHLAND	AVE
79.	1915	ASHLAND	AVE	128.	2202	ASHLAND	AVE
80.	1916	ASHLAND	AVE	129.	2203	ASHLAND	AVE
81.	1918	ASHLAND	AVE	130.	2204	ASHLAND	AVE
82.	1920	ASHLAND	AVE	131.	2205	ASHLAND	AVE
83.	1922	ASHLAND	AVE	132.	2206	ASHLAND	AVE
84.	1923	ASHLAND	AVE	133.	2207	ASHLAND	AVE
85.	2000	ASHLAND	AVE	134.	2208	ASHLAND	AVE
86.	2001	ASHLAND	AVE	135.	2209	ASHLAND	AVE
87.	2002	ASHLAND	AVE	136.	2210	ASHLAND	AVE
88.	2003	ASHLAND	AVE	137.	2211	ASHLAND	AVE
89.	2004	ASHLAND	AVE	138.	2212	ASHLAND	AVE
90.	2005	ASHLAND	AVE	139.	2214	ASHLAND	AVE
91.	2006	ASHLAND	AVE	140.	2216	ASHLAND	AVE
92.	2007	ASHLAND	AVE	141.	2218	ASHLAND	AVE
93.	2008	ASHLAND	AVE	142.	2220	ASHLAND	AVE
94.	2009	ASHLAND	AVE	143.	1702	BARNES	ST
95.	2010	ASHLAND	AVE	144.	1704	BARNES	ST
96.	2011	ASHLAND	AVE	145.	1707	BARNES	ST
97.	2012	ASHLAND	AVE	146.	1709	BARNES	ST
98.	2013	ASHLAND	AVE	147.	1711	BARNES	ST
99.	2014	ASHLAND	AVE	148.	1712	BARNES	ST
100.	2015	ASHLAND	AVE	149.	1713	BARNES	ST
101.	2016	ASHLAND	AVE	150.	1714	BARNES	ST
102.	2017	ASHLAND	AVE	151.	1715	BARNES	ST
103.	2018	ASHLAND	AVE	152.	1716	BARNES	ST
104.	2019	ASHLAND	AVE	153.	1717	BARNES	ST
105.	2020	ASHLAND	AVE	154.	1718	BARNES	ST
106.	2021	ASHLAND	AVE	155.	1720	BARNES	ST
107.	2022	ASHLAND	AVE	156.	1722	BARNES	ST
108.	2024	ASHLAND	AVE	157.	1728	BARNES	ST
109.	2028	ASHLAND	AVE	158.	1705 E	BIDDLE	ST
110.	2032	ASHLAND	AVE	159.	1707 E	BIDDLE	ST
111.	2034	ASHLAND	AVE	160.	1709 E	BIDDLE	ST
112.	2036	ASHLAND	AVE	161.	1711 E	BIDDLE	ST
113.	2038	ASHLAND	AVE	162.	1713 E	BIDDLE	ST
114.	2040	ASHLAND	AVE	163.	1715 E	BIDDLE	ST
115.	2100	ASHLAND	AVE	165.	1719 E	BIDDLE	ST
116.	2106	ASHLAND	AVE	166.	1721 E	BIDDLE	ST
117.	2108	ASHLAND	AVE	167.	1723 E	BIDDLE	ST
118.	2110	ASHLAND	AVE	168.	1725 E	BIDDLE	ST
119.	2112	ASHLAND	AVE	169.	1727 E	BIDDLE	ST
120.	2114	ASHLAND	AVE	170.	1729 E	BIDDLE	ST
121.	2116	ASHLAND	AVE	171.	1731 E	BIDDLE	ST

172.	1733 E	BIDDLE	ST	221.	2219 E	BIDDLE	ST
173.	1735 E	BIDDLE	ST	222.	2221 E	BIDDLE	ST
174.	1801 E	BIDDLE	ST	223.	2223 E	BIDDLE	ST
175.	1807 E	BIDDLE	ST	224.	2225 E	BIDDLE	ST
176.	1809 E	BIDDLE	ST	225.	2227 E	BIDDLE	ST
177.	1811 E	BIDDLE	ST	226.	2229 E	BIDDLE	ST
178.	1813 E	BIDDLE	ST	227.	2231 E	BIDDLE	ST
179.	1815 E	BIDDLE	ST	228.	2233 E	BIDDLE	ST
180.	1817 E	BIDDLE	ST	229.	2235 E	BIDDLE	ST
181.	1819 E	BIDDLE	ST	230.	2237 E	BIDDLE	ST
182.	1821 E	BIDDLE	ST	231.	2239 E	BIDDLE	ST
183.	1823 E	BIDDLE	ST	232.	2241 E	BIDDLE	ST
184.	1825 E	BIDDLE	ST	233.	2243 E	BIDDLE	ST
185.	1827 E	BIDDLE	ST	234.	2245 E	BIDDLE	ST
186.	1829 E	BIDDLE	ST	235.	2247 E	BIDDLE	ST
187.	1831 E	BIDDLE	ST	236.	2249 E	BIDDLE	ST
188.	1833 E	BIDDLE	ST	237.	2251 E	BIDDLE	ST
189.	1835 E	BIDDLE	ST	249.	825 N	BROADWAY	
190.	1837 E	BIDDLE	ST	250.	933 N	BROADWAY	
191.	1839 E	BIDDLE	ST	251.	937 N	BROADWAY	
192.	1841 E	BIDDLE	ST	252.	939 N	BROADWAY	
193.	2009 E	BIDDLE	ST	253.	941 N	BROADWAY	
194.	2011 E	BIDDLE	ST	254.	943 N	BROADWAY	
195.	2013 E	BIDDLE	ST	255.	945 N	BROADWAY	
196.	2015 E	BIDDLE	ST	256.	947 N	BROADWAY	
197.	2017 E	BIDDLE	ST	259.	1101 N	BROADWAY	
198.	2021 E	BIDDLE	ST	260.	1103 N	BROADWAY	
199.	2023 E	BIDDLE	ST	261.	1109 N	BROADWAY	
200.	2025 E	BIDDLE	ST	263.	1115 N	BROADWAY	
201.	2027 E	BIDDLE	ST	264.	1117 N	BROADWAY	
202.	2029 E	BIDDLE	ST	265.	1119 N	BROADWAY	
203.	2031 E	BIDDLE	ST	266.	800 N	CASTLE	ST
204.	2033 E	BIDDLE	ST	267.	801 N	CASTLE	ST
205.	2035 E	BIDDLE	ST	268.	802 N	CASTLE	ST
206.	2037 E	BIDDLE	ST	269.	803 N	CASTLE	ST
207.	2039 E	BIDDLE	ST	270.	804 N	CASTLE	ST
208.	2041 E	BIDDLE	ST	271.	805 N	CASTLE	ST
209.	2043 E	BIDDLE	ST	272.	806 N	CASTLE	ST
210.	2045 E	BIDDLE	ST	273.	807 N	CASTLE	ST
211.	2101 E	BIDDLE	ST	274.	808 N	CASTLE	ST
212.	2201 E	BIDDLE	ST	275.	809 N	CASTLE	ST
213.	2203 E	BIDDLE	ST	276.	810 N	CASTLE	ST
214.	2205 E	BIDDLE	ST	277.	811 N	CASTLE	ST
215.	2207 E	BIDDLE	ST	278.	812 N	CASTLE	ST
216.	2209 E	BIDDLE	ST	279.	813 N	CASTLE	ST
217.	2211 E	BIDDLE	ST	280.	814 N	CASTLE	ST
218.	2213 E	BIDDLE	ST	281.	816 N	CASTLE	ST
219.	2215 E	BIDDLE	ST	282.	817 N	CASTLE	ST
220.	2217 E	BIDDLE	ST	283.	818 N	CASTLE	ST

284.	819 N	CASTLE	ST		333.	1000 N	CASTLE	ST
285.	820 N	CASTLE	ST		334.	1001 N	CASTLE	ST
286.	822 N	CASTLE	ST		335.	1002 N	CASTLE	ST
287.	900 N	CASTLE	ST		336.	1003 N	CASTLE	ST
288.	901 N	CASTLE	ST		337.	1004 N	CASTLE	ST
289.	902 N	CASTLE	ST		338.	1005 N	CASTLE	ST
290.	903 N	CASTLE	ST		339.	1006 N	CASTLE	ST
291.	904 N	CASTLE	ST		340.	1007 N	CASTLE	ST
292.	905 N	CASTLE	ST		341.	1008 N	CASTLE	ST
293.	906 N	CASTLE	ST		342.	1009 N	CASTLE	ST
294.	907 N	CASTLE	ST		343.	1010 N	CASTLE	ST
295.	908 N	CASTLE	ST		344.	1011 N	CASTLE	ST
296.	909 N	CASTLE	ST		345.	1012 N	CASTLE	ST
297.	910 N	CASTLE	ST		346.	1013 N	CASTLE	ST
298.	911 N	CASTLE	ST		347.	1014 N	CASTLE	ST
299.	912 N	CASTLE	ST		348.	1015 N	CASTLE	ST
300.	913 N	CASTLE	ST		349.	1016 N	CASTLE	ST
301.	914 N	CASTLE	ST		350.	1017 N	CASTLE	ST
302.	915 N	CASTLE	ST		351.	1018 N	CASTLE	ST
303.	916 N	CASTLE	ST		352.	1019 N	CASTLE	ST
304.	917 N	CASTLE	ST		353.	1020 N	CASTLE	ST
305.	918 N	CASTLE	ST		354.	1021 N	CASTLE	ST
306.	919 N	CASTLE	ST		355.	1022 N	CASTLE	ST
307.	920 N	CASTLE	ST		356.	1023 N	CASTLE	ST
308.	921 N	CASTLE	ST		357.	1024 N	CASTLE	ST
309.	922 N	CASTLE	ST		358.	1025 N	CASTLE	ST
310.	923 N	CASTLE	ST		359.	1026 N	CASTLE	ST
311.	924 N	CASTLE	ST		360.	1027 N	CASTLE	ST
312.	925 N	CASTLE	ST		361.	1028 N	CASTLE	ST
313.	926 N	CASTLE	ST	VII	362.	1029 N	CASTLE	ST
314.	927 N	CASTLE	ST	VII	363.	1029 N	CASTLE	ST [sic!]
315.	928 N	CASTLE	ST		364.	1030 N	CASTLE	ST
316.	929 N	CASTLE	ST		365.	1031 N	CASTLE	ST
317.	930 N	CASTLE	ST		366.	1032 N	CASTLE	ST
318.	931 N	CASTLE	ST		367.	1033 N	CASTLE	ST
319.	932 N	CASTLE	ST		368.	1034 N	CASTLE	ST
320.	933 N	CASTLE	ST		369.	1035 N	CASTLE	ST
321.	934 N	CASTLE	ST		370.	1036 N	CASTLE	ST
322.	935 N	CASTLE	ST		371.	1037 N	CASTLE	ST
323.	936 N	CASTLE	ST		372.	1038 N	CASTLE	ST
324.	937 N	CASTLE	ST		373.	1039 N	CASTLE	ST
325.	938 N	CASTLE	ST		374.	801 N	CHAPEL	ST
326.	939 N	CASTLE	ST		375.	803 N	CHAPEL	ST
327.	940 N	CASTLE	ST		376.	805 N	CHAPEL	ST
328.	941 N	CASTLE	ST		377.	806 N	CHAPEL	ST
329.	942 N	CASTLE	ST		378.	807 N	CHAPEL	ST
330.	943 N	CASTLE	ST		379.	808 N	CHAPEL	ST
331.	944 N	CASTLE	ST		380.	809 N	CHAPEL	ST
332.	945 N	CASTLE	ST		381.	810 N	CHAPEL	ST

382.	811 N	CHAPEL	ST	431.	944 N	CHAPEL	ST
383.	812 N	CHAPEL	ST	432.	945 N	CHAPEL	ST
384.	813 N	CHAPEL	ST	433.	946 N	CHAPEL	ST
385.	814 N	CHAPEL	ST	434.	947 N	CHAPEL	ST
386.	815 N	CHAPEL	ST	435.	948 N	CHAPEL	ST
387.	816 N	CHAPEL	ST	436.	949 N	CHAPEL	ST
388.	817 N	CHAPEL	ST	437.	950 N	CHAPEL	ST
389.	818 N	CHAPEL	ST	438.	951 N	CHAPEL	ST
390.	819 N	CHAPEL	ST	439.	952 N	CHAPEL	ST
391.	820 N	CHAPEL	ST	440.	953 N	CHAPEL	ST
392.	821 N	CHAPEL	ST	441.	954 N	CHAPEL	ST
393.	822 N	CHAPEL	ST	442.	955 N	CHAPEL	ST
394.	823 N	CHAPEL	ST	443.	956 N	CHAPEL	ST
395.	824 N	CHAPEL	ST	444.	957 N	CHAPEL	ST
396.	825 N	CHAPEL	ST	445.	958 N	CHAPEL	ST
397.	826 N	CHAPEL	ST	446.	959 N	CHAPEL	ST
398.	828 N	CHAPEL	ST	447.	960 N	CHAPEL	ST
399.	830 N	CHAPEL	ST	448.	961 N	CHAPEL	ST
400.	832 N	CHAPEL	ST	449.	962 N	CHAPEL	ST
401.	834 N	CHAPEL	ST	450.	1002 N	CHAPEL	ST
402.	915 N	CHAPEL	ST	451.	1003 N	CHAPEL	ST
403.	916 N	CHAPEL	ST	452.	1004 N	CHAPEL	ST
404.	917 N	CHAPEL	ST	453.	1005 N	CHAPEL	ST
405.	918 N	CHAPEL	ST	454.	1006 N	CHAPEL	ST
406.	919 N	CHAPEL	ST	455.	1007 N	CHAPEL	ST
407.	920 N	CHAPEL	ST	456.	1008 N	CHAPEL	ST
408.	921 N	CHAPEL	ST	457.	1009 N	CHAPEL	ST
409.	922 N	CHAPEL	ST	458.	1010 N	CHAPEL	ST
410.	923 N	CHAPEL	ST	459.	1011 N	CHAPEL	ST
411.	924 N	CHAPEL	ST	460.	1012 N	CHAPEL	ST
412.	925 N	CHAPEL	ST	461.	1013 N	CHAPEL	ST
413.	926 N	CHAPEL	ST	462.	1014 N	CHAPEL	ST
414.	927 N	CHAPEL	ST	463.	1015 N	CHAPEL	ST
415.	928 N	CHAPEL	ST	464.	1016 N	CHAPEL	ST
416.	929 N	CHAPEL	ST	465.	1017 N	CHAPEL	ST
417.	930 N	CHAPEL	ST	466.	1018 N	CHAPEL	ST
418.	931 N	CHAPEL	ST	467.	1019 N	CHAPEL	ST
419.	932 N	CHAPEL	ST	468.	1020 N	CHAPEL	ST
420.	933 N	CHAPEL	ST	469.	1021 N	CHAPEL	ST
421.	934 N	CHAPEL	ST	470.	1022 N	CHAPEL	ST
422.	935 N	CHAPEL	ST	471.	1023 N	CHAPEL	ST
423.	936 N	CHAPEL	ST	472.	1024 N	CHAPEL	ST
424.	937 N	CHAPEL	ST	473.	1025 N	CHAPEL	ST
425.	938 N	CHAPEL	ST	474.	1026 N	CHAPEL	ST
426.	939 N	CHAPEL	ST	475.	1027 N	CHAPEL	ST
427.	940 N	CHAPEL	ST	476.	1028 N	CHAPEL	ST
428.	941 N	CHAPEL	ST	477.	1029 N	CHAPEL	ST
429.	942 N	CHAPEL	ST	478.	1030 N	CHAPEL	ST
430.	943 N	CHAPEL	ST	479.	1031 N	CHAPEL	ST

480.	1032 N	CHAPEL	ST	529.	1810 E	CHASE	ST
481.	1033 N	CHAPEL	ST	530.	1811 E	CHASE	ST
482.	1034 N	CHAPEL	ST	531.	1812 E	CHASE	ST
483.	1035 N	CHAPEL	ST	532.	1813 E	CHASE	ST
484.	1036 N	CHAPEL	ST	533.	1814 E	CHASE	ST
485.	1037 N	CHAPEL	ST	534.	1815 E	CHASE	ST
486.	1038 N	CHAPEL	ST	535.	1816 E	CHASE	ST
487.	1039 N	CHAPEL	ST	536.	1817 E	CHASE	ST
488.	1040 N	CHAPEL	ST	537.	1818 E	CHASE	ST
489.	1041 N	CHAPEL	ST	538.	1819 E	CHASE	ST
490.	1043 N	CHAPEL	ST	539.	1820 E	CHASE	ST
491.	1703 E	CHASE	ST	540.	1821 E	CHASE	ST
492.	1704 E	CHASE	ST	541.	1822 E	CHASE	ST
493.	1705 E	CHASE	ST	542.	1823 E	CHASE	ST
494.	1706 E	CHASE	ST	543.	1824 E	CHASE	ST
495.	1707 E	CHASE	ST	544.	1825 E	CHASE	ST
496.	1708 E	CHASE	ST	545.	1826 E	CHASE	ST
497.	1709 E	CHASE	ST	546.	1827 E	CHASE	ST
498.	1710 E	CHASE	ST	547.	1828 E	CHASE	ST
499.	1711 E	CHASE	ST	548.	1829 E	CHASE	ST
500.	1712 E	CHASE	ST	549.	1830 E	CHASE	ST
501.	1714 E	CHASE	ST	550.	1831 E	CHASE	ST
502.	1716 E	CHASE	ST	551.	1832 E	CHASE	ST
503.	1718 E	CHASE	ST	552.	1833 E	CHASE	ST
504.	1720 E	CHASE	ST	553.	1834 E	CHASE	ST
505.	1722 E	CHASE	ST	554.	1835 E	CHASE	ST
506.	1724 E	CHASE	ST	555.	1836 E	CHASE	ST
507.	1726 E	CHASE	ST	556.	1837 E	CHASE	ST
508.	1728 E	CHASE	ST	557.	1838 E	CHASE	ST
509.	1730 E	CHASE	ST	558.	1839 E	CHASE	ST
510.	1731 E	CHASE	ST	559.	1840 E	CHASE	ST
511.	1732 E	CHASE	ST	560.	1842 E	CHASE	ST
512.	1734 E	CHASE	ST	561.	1901 E	CHASE	ST
513.	1736 E	CHASE	ST	562.	1903 E	CHASE	ST
514.	1738 E	CHASE	ST	563.	1905 E	CHASE	ST
515.	1740 E	CHASE	ST	564.	1907 E	CHASE	ST
516.	1742 E	CHASE	ST	565.	1909 E	CHASE	ST
517.	1744 E	CHASE	ST	566.	1911 E	CHASE	ST
518.	1746 E	CHASE	ST	567.	1913 E	CHASE	ST
519.	1800 E	CHASE	ST	568.	1915 E	CHASE	ST
520.	1801 E	CHASE	ST	569.	1917 E	CHASE	ST
521.	1802 E	CHASE	ST	570.	1919 E	CHASE	ST
522.	1803 E	CHASE	ST	571.	1921 E	CHASE	ST
523.	1804 E	CHASE	ST	572.	1923 E	CHASE	ST
524.	1805 E	CHASE	ST	573.	1925 E	CHASE	ST
525.	1806 E	CHASE	ST	574.	1927 E	CHASE	ST
526.	1807 E	CHASE	ST	575.	1929 E	CHASE	ST
527.	1808 E	CHASE	ST	576.	1931 E	CHASE	ST
528.	1809 E	CHASE	ST	577.	1933 E	CHASE	ST

578.	1935 E	CHASE	ST	627.	2206 E	CHASE	ST
579.	2002 E	CHASE	ST	628.	2207 E	CHASE	ST
580.	2004 E	CHASE	ST	629.	2208 E	CHASE	ST
581.	2006 E	CHASE	ST	630.	2209 E	CHASE	ST
582.	2008 E	CHASE	ST	631.	2210 E	CHASE	ST
583.	2010 E	CHASE	ST	632.	2211 E	CHASE	ST
584.	2011 E	CHASE	ST	633.	2212 E	CHASE	ST
585.	2012 E	CHASE	ST	634.	2213 E	CHASE	ST
586.	2013 E	CHASE	ST	635.	2214 E	CHASE	ST
587.	2014 E	CHASE	ST	636.	2215 E	CHASE	ST
588.	2015 E	CHASE	ST	637.	2216 E	CHASE	ST
589.	2016 E	CHASE	ST	638.	2217 E	CHASE	ST
590.	2017 E	CHASE	ST	639.	2218 E	CHASE	ST
591.	2018 E	CHASE	ST	640.	2219 E	CHASE	ST
592.	2019 E	CHASE	ST	641.	2220 E	CHASE	ST
593.	2020 E	CHASE	ST	642.	2221 E	CHASE	ST
594.	2021 E	CHASE	ST	643.	2222 E	CHASE	ST
595.	2022 E	CHASE	ST	644.	2223 E	CHASE	ST
596.	2023 E	CHASE	ST	645.	2224 E	CHASE	ST
597.	2025 E	CHASE	ST	646.	2225 E	CHASE	ST
598.	2027 E	CHASE	ST	647.	2226 E	CHASE	ST
599.	2029 E	CHASE	ST	648.	2227 E	CHASE	ST
600.	2101 E	CHASE	ST	649.	2228 E	CHASE	ST
601.	2103 E	CHASE	ST	650.	2229 E	CHASE	ST
602.	2105 E	CHASE	ST	651.	2230 E	CHASE	ST
603.	2107 E	CHASE	ST	652.	2231 E	CHASE	ST
604.	2109 E	CHASE	ST	653.	2232 E	CHASE	ST
605.	2111 E	CHASE	ST	654.	2233 E	CHASE	ST
606.	2113 E	CHASE	ST	655.	2234 E	CHASE	ST
607.	2115 E	CHASE	ST	656.	2235 E	CHASE	ST
608.	2117 E	CHASE	ST	657.	2236 E	CHASE	ST
609.	2119 E	CHASE	ST	658.	2237 E	CHASE	ST
610.	2121 E	CHASE	ST	659.	2238 E	CHASE	ST
611.	2123 E	CHASE	ST	660.	2239 E	CHASE	ST
612.	2125 E	CHASE	ST	661.	2240 E	CHASE	ST
613.	2127 E	CHASE	ST	662.	2241 E	CHASE	ST
614.	2129 E	CHASE	ST	663.	2242 E	CHASE	ST
615.	2131 E	CHASE	ST	664.	2243 E	CHASE	ST
616.	2133 E	CHASE	ST	665.	2244 E	CHASE	ST
617.	2135 E	CHASE	ST	666.	2245 E	CHASE	ST
618.	2137 E	CHASE	ST	667.	2246 E	CHASE	ST
619.	2139 E	CHASE	ST	668.	2247 E	CHASE	ST
620.	2141 E	CHASE	ST	669.	2248 E	CHASE	ST
621.	2200 E	CHASE	ST	670.	2249 E	CHASE	ST
622.	2201 E	CHASE	ST	671.	2250 E	CHASE	ST
623.	2202 E	CHASE	ST	672.	2251 E	CHASE	ST
624.	2203 E	CHASE	ST	673.	715 N	CHESTER	ST
625.	2204 E	CHASE	ST	674.	717 N	CHESTER	ST
626.	2205 E	CHASE	ST	675.	719 N	CHESTER	ST

676.	721 N	CHESTER	ST	726.	918 N	CHESTER	ST
677.	723 N	CHESTER	ST	727.	919 N	CHESTER	ST
678.	725 N	CHESTER	ST	728.	920 N	CHESTER	ST
679.	727 N	CHESTER	ST	729.	921 N	CHESTER	ST
680.	729 N	CHESTER	ST	730.	922 N	CHESTER	ST
681.	731 N	CHESTER	ST	731.	923 N	CHESTER	ST
683.	733 N	CHESTER	ST	732.	924 N	CHESTER	ST
684.	735 N	CHESTER	ST	733.	925 N	CHESTER	ST
685.	737 N	CHESTER	ST	734.	926 N	CHESTER	ST
686.	739 N	CHESTER	ST	735.	927 N	CHESTER	ST
687.	741 N	CHESTER	ST	736.	928 N	CHESTER	ST
688.	743 N	CHESTER	ST	737.	929 N	CHESTER	ST
689.	745 N	CHESTER	ST	738.	930 N	CHESTER	ST
690.	800 N	CHESTER	ST	739.	931 N	CHESTER	ST
691.	801 N	CHESTER	ST	740.	932 N	CHESTER	ST
692.	803 N	CHESTER	ST	741.	933 N	CHESTER	ST
693.	804 N	CHESTER	ST	742.	934 N	CHESTER	ST
694.	805 N	CHESTER	ST	743.	935 N	CHESTER	ST
695.	807 N	CHESTER	ST	744.	936 N	CHESTER	ST
696.	808 N	CHESTER	ST	745.	937 N	CHESTER	ST
697.	809 N	CHESTER	ST	746.	938 N	CHESTER	ST
698.	811 N	CHESTER	ST	747.	939 N	CHESTER	ST
699.	813 N	CHESTER	ST	748.	940 N	CHESTER	ST
700.	814 N	CHESTER	ST	749.	941 N	CHESTER	ST
701.	815 N	CHESTER	ST	750.	942 N	CHESTER	ST
702.	817 N	CHESTER	ST	751.	943 N	CHESTER	ST
703.	828 N	CHESTER	ST	752.	944 N	CHESTER	ST
704.	830 N	CHESTER	ST	753.	945 N	CHESTER	ST
705.	832 N	CHESTER	ST	754.	946 N	CHESTER	ST
706.	834 N	CHESTER	ST	755.	947 N	CHESTER	ST
707.	836 N	CHESTER	ST	756.	948 N	CHESTER	ST
708.	838 N	CHESTER	ST	757.	949 N	CHESTER	ST
709.	840 N	CHESTER	ST	758.	950 N	CHESTER	ST
710.	900 N	CHESTER	ST	759.	951 N	CHESTER	ST
711.	901 N	CHESTER	ST	760.	952 N	CHESTER	ST
712.	904 N	CHESTER	ST	761.	953 N	CHESTER	ST
713.	905 N	CHESTER	ST	762.	954 N	CHESTER	ST
714.	906 N	CHESTER	ST	763.	955 N	CHESTER	ST
715.	907 N	CHESTER	ST	764.	956 N	CHESTER	ST
716.	908 N	CHESTER	ST	765.	957 N	CHESTER	ST
717.	909 N	CHESTER	ST	766.	958 N	CHESTER	ST
718.	910 N	CHESTER	ST	767.	959 N	CHESTER	ST
719.	911 N	CHESTER	ST	768.	960 N	CHESTER	ST
720.	912 N	CHESTER	ST	769.	961 N	CHESTER	ST
721.	913 N	CHESTER	ST	770.	962 N	CHESTER	ST
722.	914 N	CHESTER	ST	771.	963 N	CHESTER	ST
723.	915 N	CHESTER	ST	772.	964 N	CHESTER	ST
724.	916 N	CHESTER	ST	773.	965 N	CHESTER	ST
725.	917 N	CHESTER	ST	774.	966 N	CHESTER	ST

775.	967 N	CHESTER	ST	880.	947 N	COLLINGTON	AVE
776.	968 N	CHESTER	ST	881.	948 N	COLLINGTON	AVE
777.	969 N	CHESTER	ST	882.	949 N	COLLINGTON	AVE
778.	971 N	CHESTER	ST	883.	950 N	COLLINGTON	AVE
779.	1001 N	CHESTER	ST	884.	951 N	COLLINGTON	AVE
780.	1002 N	CHESTER	ST	885.	956 N	COLLINGTON	AVE
781.	1004 N	CHESTER	ST	886.	957 N	COLLINGTON	AVE
782.	1006 N	CHESTER	ST	887.	958 N	COLLINGTON	AVE
783.	1008 N	CHESTER	ST	888.	959 N	COLLINGTON	AVE
840.	901 N	COLLINGTON	AVE	889.	960 N	COLLINGTON	AVE
841.	903 N	COLLINGTON	AVE	890.	961 N	COLLINGTON	AVE
842.	905 N	COLLINGTON	AVE	891.	962 N	COLLINGTON	AVE
843.	907 N	COLLINGTON	AVE	892.	963 N	COLLINGTON	AVE
844.	909 N	COLLINGTON	AVE	893.	964 N	COLLINGTON	AVE
845.	911 N	COLLINGTON	AVE	894.	965 N	COLLINGTON	AVE
846.	913 N	COLLINGTON	AVE	895.	966 N	COLLINGTON	AVE
847.	914 N	COLLINGTON	AVE	896.	967 N	COLLINGTON	AVE
848.	915 N	COLLINGTON	AVE	897.	968 N	COLLINGTON	AVE
849.	916 N	COLLINGTON	AVE	898.	969 N	COLLINGTON	AVE
850.	917 N	COLLINGTON	AVE	899.	970 N	COLLINGTON	AVE
851.	918 N	COLLINGTON	AVE	900.	971 N	COLLINGTON	AVE
852.	919 N	COLLINGTON	AVE	901.	1001 N	COLLINGTON	AVE
853.	920 N	COLLINGTON	AVE	902.	1020 N	COLLINGTON	AVE
854.	921 N	COLLINGTON	AVE	903.	1026 N	COLLINGTON	AVE
855.	922 N	COLLINGTON	AVE	904.	1028 N	COLLINGTON	AVE
856.	923 N	COLLINGTON	AVE	905.	1030 N	COLLINGTON	AVE
857.	924 N	COLLINGTON	AVE	906.	1032 N	COLLINGTON	AVE
858.	925 N	COLLINGTON	AVE	907.	1034 N	COLLINGTON	AVE
859.	926 N	COLLINGTON	AVE	908.	1036 N	COLLINGTON	AVE
860.	927 N	COLLINGTON	AVE	909.	1038 N	COLLINGTON	AVE
861.	928 N	COLLINGTON	AVE	910.	1040 N	COLLINGTON	AVE
862.	929 N	COLLINGTON	AVE	911.	1042 N	COLLINGTON	AVE
863.	930 N	COLLINGTON	AVE	912.	1101 N	COLLINGTON	AVE
864.	931 N	COLLINGTON	AVE	913.	1103 N	COLLINGTON	AVE
865.	932 N	COLLINGTON	AVE	914.	1105 N	COLLINGTON	AVE
866.	933 N	COLLINGTON	AVE	915.	1107 N	COLLINGTON	AVE
867.	934 N	COLLINGTON	AVE	916.	1109 N	COLLINGTON	AVE
868.	935 N	COLLINGTON	AVE	917.	1111 N	COLLINGTON	AVE
869.	936 N	COLLINGTON	AVE	918.	1113 N	COLLINGTON	AVE
870.	937 N	COLLINGTON	AVE	919.	1115 N	COLLINGTON	AVE
871.	938 N	COLLINGTON	AVE	920.	1117 N	COLLINGTON	AVE
872.	939 N	COLLINGTON	AVE	921.	1119 N	COLLINGTON	AVE
873.	940 N	COLLINGTON	AVE	922.	700 N	DUNCAN	ST
874.	941 N	COLLINGTON	AVE	923.	701 N	DUNCAN	ST
875.	942 N	COLLINGTON	AVE	924.	702 N	DUNCAN	ST
876.	943 N	COLLINGTON	AVE	925.	703 N	DUNCAN	ST
877.	944 N	COLLINGTON	AVE	926.	704 N	DUNCAN	ST
878.	945 N	COLLINGTON	AVE	927.	705 N	DUNCAN	ST
879.	946 N	COLLINGTON	AVE	928.	706 N	DUNCAN	ST

929.	707 N	DUNCAN	ST	978.	934 N	DUNCAN	ST
930.	708 N	DUNCAN	ST	979.	935 N	DUNCAN	ST
931.	709 N	DUNCAN	ST	980.	936 N	DUNCAN	ST
932.	710 N	DUNCAN	ST	981.	937 N	DUNCAN	ST
933.	711 N	DUNCAN	ST	982.	938 N	DUNCAN	ST
934.	712 N	DUNCAN	ST	983.	939 N	DUNCAN	ST
935.	713 N	DUNCAN	ST	984.	940 N	DUNCAN	ST
936.	714 N	DUNCAN	ST	985.	941 N	DUNCAN	ST
937.	715 N	DUNCAN	ST	986.	942 N	DUNCAN	ST
938.	716 N	DUNCAN	ST	987.	944 N	DUNCAN	ST
939.	717 N	DUNCAN	ST	988.	946 N	DUNCAN	ST
940.	718 N	DUNCAN	ST	989.	948 N	DUNCAN	ST
941.	719 N	DUNCAN	ST	990.	950 N	DUNCAN	ST
942.	720 N	DUNCAN	ST	991.	951 N	DUNCAN	ST
943.	721 N	DUNCAN	ST	992.	952 N	DUNCAN	ST
944.	722 N	DUNCAN	ST	993.	953 N	DUNCAN	ST
945.	723 N	DUNCAN	ST	994.	954 N	DUNCAN	ST
946.	901 N	DUNCAN	ST	995.	802 N	DURHAM	ST
947.	902 N	DUNCAN	ST	996.	803 N	DURHAM	ST
948.	903 N	DUNCAN	ST	997.	804 N	DURHAM	ST
949.	904 N	DUNCAN	ST	998.	805 N	DURHAM	ST
950.	905 N	DUNCAN	ST	999.	806 N	DURHAM	ST
951.	906 N	DUNCAN	ST	1000.	807 N	DURHAM	ST
952.	907 N	DUNCAN	ST	1001.	808 N	DURHAM	ST
953.	908 N	DUNCAN	ST	1002.	809 N	DURHAM	ST
954.	909 N	DUNCAN	ST	1003.	810 N	DURHAM	ST
955.	910 N	DUNCAN	ST	1004.	811 N	DURHAM	ST
956.	911 N	DUNCAN	ST	1005.	812 N	DURHAM	ST
957.	913 N	DUNCAN	ST	1006.	813 N	DURHAM	ST
958.	914 N	DUNCAN	ST	1007.	814 N	DURHAM	ST
959.	915 N	DUNCAN	ST	1008.	815 N	DURHAM	ST
960.	916 N	DUNCAN	ST	1009.	816 N	DURHAM	ST
961.	917 N	DUNCAN	ST	1010.	817 N	DURHAM	ST
962.	918 N	DUNCAN	ST	1011.	818 N	DURHAM	ST
963.	919 N	DUNCAN	ST	1012.	819 N	DURHAM	ST
964.	920 N	DUNCAN	ST	1013.	820 N	DURHAM	ST
965.	921 N	DUNCAN	ST	1014.	821 N	DURHAM	ST
966.	922 N	DUNCAN	ST	1015.	822 N	DURHAM	ST
967.	923 N	DUNCAN	ST	1016.	823 N	DURHAM	ST
968.	924 N	DUNCAN	ST	1017.	824 N	DURHAM	ST
969.	925 N	DUNCAN	ST	1018.	825 N	DURHAM	ST
970.	926 N	DUNCAN	ST	1019.	827 N	DURHAM	ST
971.	927 N	DUNCAN	ST	1020.	902 N	DURHAM	ST
972.	928 N	DUNCAN	ST	1021.	903 N	DURHAM	ST
973.	929 N	DUNCAN	ST	1022.	904 N	DURHAM	ST
974.	930 N	DUNCAN	ST	1023.	905 N	DURHAM	ST
975.	931 N	DUNCAN	ST	1024.	906 N	DURHAM	ST
976.	932 N	DUNCAN	ST	1025.	907 N	DURHAM	ST
977.	933 N	DUNCAN	ST	1026.	908 N	DURHAM	ST

1027.	909 N	DURHAM	ST	1076.	1009 N	DURHAM	ST
1028.	910 N	DURHAM	ST	1077.	1010 N	DURHAM	ST
1029.	911 N	DURHAM	ST	1078.	1011 N	DURHAM	ST
1030.	912 N	DURHAM	ST	1079.	1012 N	DURHAM	ST
1031.	913 N	DURHAM	ST	1080.	1014 N	DURHAM	ST
1032.	914 N	DURHAM	ST	1081.	1016 N	DURHAM	ST
1033.	915 N	DURHAM	ST	1082.	1017 N	DURHAM	ST
1034.	916 N	DURHAM	ST	1083.	1018 N	DURHAM	ST
1035.	917 N	DURHAM	ST	1084.	1019 N	DURHAM	ST
1036.	918 N	DURHAM	ST	1085.	1020 N	DURHAM	ST
1037.	919 N	DURHAM	ST	1086.	1021 N	DURHAM	ST
1038.	920 N	DURHAM	ST	1087.	1022 N	DURHAM	ST
1039.	921 N	DURHAM	ST	1088.	1023 N	DURHAM	ST
1040.	922 N	DURHAM	ST	1089.	1024 N	DURHAM	ST
1041.	923 N	DURHAM	ST	1090.	1025 N	DURHAM	ST
1042.	924 N	DURHAM	ST	1091.	1026 N	DURHAM	ST
1043.	925 N	DURHAM	ST	1092.	1027 N	DURHAM	ST
1044.	926 N	DURHAM	ST	1093.	1028 N	DURHAM	ST
1045.	927 N	DURHAM	ST	1094.	1029 N	DURHAM	ST
1046.	928 N	DURHAM	ST	1095.	1030 N	DURHAM	ST
1047.	929 N	DURHAM	ST	1096.	1031 N	DURHAM	ST
1048.	930 N	DURHAM	ST	1097.	1032 N	DURHAM	ST
1049.	931 N	DURHAM	ST	1098.	1033 N	DURHAM	ST
1050.	932 N	DURHAM	ST	1099.	1034 N	DURHAM	ST
1051.	933 N	DURHAM	ST	1100.	1035 N	DURHAM	ST
1052.	934 N	DURHAM	ST	1101.	1036 N	DURHAM	ST
1053.	935 N	DURHAM	ST	1102.	1037 N	DURHAM	ST
1054.	936 N	DURHAM	ST	1103.	1038 N	DURHAM	ST
1055.	937 N	DURHAM	ST	1104.	1039 N	DURHAM	ST
1056.	938 N	DURHAM	ST	1105.	1040 N	DURHAM	ST
1057.	939 N	DURHAM	ST	1106.	1041 N	DURHAM	ST
1058.	940 N	DURHAM	ST	1107.	1042 N	DURHAM	ST
1059.	941 N	DURHAM	ST	1108.	1043 N	DURHAM	ST
1060.	942 N	DURHAM	ST	1109.	1044 N	DURHAM	ST
1061.	943 N	DURHAM	ST	1110.	1045 N	DURHAM	ST
1062.	944 N	DURHAM	ST	1111.	1046 N	DURHAM	ST
1063.	945 N	DURHAM	ST	1112.	1047 N	DURHAM	ST
1064.	946 N	DURHAM	ST	1113.	1048 N	DURHAM	ST
1065.	947 N	DURHAM	ST	1114.	1049 N	DURHAM	ST
1066.	948 N	DURHAM	ST	1115.	1050 N	DURHAM	ST
1067.	949 N	DURHAM	ST	1116.	1051 N	DURHAM	ST
1068.	951 N	DURHAM	ST	1117.	1052 N	DURHAM	ST
1069.	1002 N	DURHAM	ST	1118.	1700 E	EAGER	ST
1070.	1003 N	DURHAM	ST	1119.	1702 E	EAGER	ST
1071.	1004 N	DURHAM	ST	1120.	1703 E	EAGER	ST
1072.	1005 N	DURHAM	ST	1121.	1704 E	EAGER	ST
1073.	1006 N	DURHAM	ST	1122.	1705 E	EAGER	ST
1074.	1007 N	DURHAM	ST	1123.	1706 E	EAGER	ST
1075.	1008 N	DURHAM	ST	1124.	1707 E	EAGER	ST

1125.	1708 E	EAGER	ST	1174.	1811 E	EAGER	ST
1126.	1709 E	EAGER	ST	1175.	1812 E	EAGER	ST
1127.	1710 E	EAGER	ST	1176.	1813 E	EAGER	ST
1128.	1711 E	EAGER	ST	1177.	1814 E	EAGER	ST
1129.	1712 E	EAGER	ST	1178.	1815 E	EAGER	ST
1130.	1713 E	EAGER	ST	1179.	1816 E	EAGER	ST
1131.	1714 E	EAGER	ST	1180.	1817 E	EAGER	ST
1132.	1715 E	EAGER	ST	1181.	1818 E	EAGER	ST
1133.	1716 E	EAGER	ST	1182.	1819 E	EAGER	ST
1134.	1717 E	EAGER	ST	1183.	1820 E	EAGER	ST
1135.	1718 E	EAGER	ST	1184.	1821 E	EAGER	ST
1136.	1719 E	EAGER	ST	1185.	1822 E	EAGER	ST
1137.	1720 E	EAGER	ST	1186.	1823 E	EAGER	ST
1138.	1721 E	EAGER	ST	1187.	1824 E	EAGER	ST
1139.	1722 E	EAGER	ST	1188.	1825 E	EAGER	ST
1140.	1723 E	EAGER	ST	1189.	1826 E	EAGER	ST
1141.	1724 E	EAGER	ST	1190.	1827 E	EAGER	ST
1142.	1725 E	EAGER	ST	1191.	1828 E	EAGER	ST
1143.	1726 E	EAGER	ST	1192.	1829 E	EAGER	ST
1144.	1727 E	EAGER	ST	1193.	1830 E	EAGER	ST
1145.	1728 E	EAGER	ST	1194.	1831 E	EAGER	ST
1146.	1729 E	EAGER	ST	1195.	1832 E	EAGER	ST
1147.	1730 E	EAGER	ST	1196.	1833 E	EAGER	ST
1148.	1731 E	EAGER	ST	1197.	1834 E	EAGER	ST
1149.	1732 E	EAGER	ST	1198.	1835 E	EAGER	ST
1150.	1733 E	EAGER	ST	1199.	1836 E	EAGER	ST
1151.	1734 E	EAGER	ST	1200.	1837 E	EAGER	ST
1152.	1735 E	EAGER	ST	1201.	1838 E	EAGER	ST
1153.	1736 E	EAGER	ST	1202.	1839 E	EAGER	ST
1154.	1737 E	EAGER	ST	1203.	1900 E	EAGER	ST
1155.	1738 E	EAGER	ST	1204.	1902 E	EAGER	ST
1156.	1739 E	EAGER	ST	1205.	1904 E	EAGER	ST
1157.	1740 E	EAGER	ST	1206.	1905 E	EAGER	ST
1158.	1741 E	EAGER	ST	1207.	1906 E	EAGER	ST
1159.	1742 E	EAGER	ST	1208.	1907 E	EAGER	ST
1160.	1743 E	EAGER	ST	1209.	1908 E	EAGER	ST
1161.	1744 E	EAGER	ST	1210.	1909 E	EAGER	ST
1162.	1745 E	EAGER	ST	1211.	1910 E	EAGER	ST
1163.	1747 E	EAGER	ST	1212.	1911 E	EAGER	ST
1164.	1800 E	EAGER	ST	1213.	1912 E	EAGER	ST
1165.	1801 E	EAGER	ST	1214.	1914 E	EAGER	ST
1166.	1802 E	EAGER	ST	1215.	1915 E	EAGER	ST
1167.	1804 E	EAGER	ST	1216.	1916 E	EAGER	ST
1168.	1805 E	EAGER	ST	1217.	1917 E	EAGER	ST
1169.	1806 E	EAGER	ST	1218.	1918 E	EAGER	ST
1170.	1807 E	EAGER	ST	1219.	1919 E	EAGER	ST
1171.	1808 E	EAGER	ST	1220.	1920 E	EAGER	ST
1172.	1809 E	EAGER	ST	1221.	1921 E	EAGER	ST
1173.	1810 E	EAGER	ST	1222.	1922 E	EAGER	ST

1223.	1923 E	EAGER	ST	1272.	2042 E	EAGER	ST
1224.	1924 E	EAGER	ST	1273.	2043 E	EAGER	ST
1225.	1925 E	EAGER	ST	1274.	2044 E	EAGER	ST
1226.	1926 E	EAGER	ST	1275.	2046 E	EAGER	ST
1227.	1928 E	EAGER	ST	1276.	2048 E	EAGER	ST
1228.	1930 E	EAGER	ST	1277.	2050 E	EAGER	ST
1229.	1932 E	EAGER	ST	1278.	2052 E	EAGER	ST
1230.	1934 E	EAGER	ST	1279.	2054 E	EAGER	ST
1231.	1936 E	EAGER	ST	1280.	2056 E	EAGER	ST
1232.	1938 E	EAGER	ST	1281.	2058 E	EAGER	ST
1233.	2000 E	EAGER	ST	1282.	2060 E	EAGER	ST
1234.	2002 E	EAGER	ST	1283.	2062 E	EAGER	ST
1235.	2003 E	EAGER	ST	1284.	2064 E	EAGER	ST
1236.	2004 E	EAGER	ST	1285.	2101 E	EAGER	ST
1237.	2005 E	EAGER	ST	1286.	2103 E	EAGER	ST
1238.	2006 E	EAGER	ST	1287.	2105 E	EAGER	ST
1239.	2007 E	EAGER	ST	1288.	2107 E	EAGER	ST
1240.	2008 E	EAGER	ST	1289.	2109 E	EAGER	ST
1241.	2009 E	EAGER	ST	1290.	2111 E	EAGER	ST
1242.	2010 E	EAGER	ST	1291.	2113 E	EAGER	ST
1243.	2011 E	EAGER	ST	1292.	2115 E	EAGER	ST
1244.	2012 E	EAGER	ST	1293.	2117 E	EAGER	ST
1245.	2013 E	EAGER	ST	1294.	2119 E	EAGER	ST
1246.	2014 E	EAGER	ST	1295.	2200 E	EAGER	ST
1247.	2015 E	EAGER	ST	1296.	2201 E	EAGER	ST
1248.	2016 E	EAGER	ST	1297.	2202 E	EAGER	ST
1249.	2017 E	EAGER	ST	1298.	2203 E	EAGER	ST
1250.	2018 E	EAGER	ST	1299.	2204 E	EAGER	ST
1251.	2019 E	EAGER	ST	1300.	2205 E	EAGER	ST
1252.	2020 E	EAGER	ST	1301.	2206 E	EAGER	ST
1253.	2021 E	EAGER	ST	1302.	2207 E	EAGER	ST
1254.	2022 E	EAGER	ST	1303.	2208 E	EAGER	ST
1255.	2024 E	EAGER	ST	1304.	2210 E	EAGER	ST
1256.	2026 E	EAGER	ST	1305.	2212 E	EAGER	ST
1257.	2027 E	EAGER	ST	1306.	2214 E	EAGER	ST
1258.	2028 E	EAGER	ST	1307.	2216 E	EAGER	ST
1259.	2029 E	EAGER	ST	1308.	2218 E	EAGER	ST
1260.	2030 E	EAGER	ST	1309.	2220 E	EAGER	ST
1261.	2031 E	EAGER	ST	1310.	2222 E	EAGER	ST
1262.	2032 E	EAGER	ST	1311.	2224 E	EAGER	ST
1263.	2033 E	EAGER	ST	1312.	2226 E	EAGER	ST
1264.	2034 E	EAGER	ST	1313.	2228 E	EAGER	ST
1265.	2035 E	EAGER	ST	1314.	2230 E	EAGER	ST
1266.	2036 E	EAGER	ST	1315.	2232 E	EAGER	ST
1267.	2037 E	EAGER	ST	1316.	1105 N	GAY	ST
1268.	2038 E	EAGER	ST	1317.	1107 N	GAY	ST
1269.	2039 E	EAGER	ST	1318.	1109 N	GAY	ST
1270.	2040 E	EAGER	ST	1319.	1111 N	GAY	ST
1271.	2041 E	EAGER	ST	1320.	1113 N	GAY	ST

1321.	1117 N	GAY	ST	1371.	2217	HENNEMAN	AVE
1322.	1119 N	GAY	ST	1372.	2218	HENNEMAN	AVE
1323.	1121 N	GAY	ST	1373.	2219	HENNEMAN	AVE
1324.	1123 N	GAY	ST	1374.	2220	HENNEMAN	AVE
1325.	1125 N	GAY	ST	1375.	2221	HENNEMAN	AVE
1326.	1127 N	GAY	ST	1376.	2222	HENNEMAN	AVE
1327.	1129 N	GAY	ST	1377.	2223	HENNEMAN	AVE
1328.	1131 N	GAY	ST	1378.	2224	HENNEMAN	AVE
1330.	1802	HENNEMAN	AVE	1379.	2225	HENNEMAN	AVE
1331.	1803	HENNEMAN	AVE	1380.	2226	HENNEMAN	AVE
1332.	1804	HENNEMAN	AVE	1381.	2227	HENNEMAN	AVE
1333.	1805	HENNEMAN	AVE	1382.	2228	HENNEMAN	AVE
1334.	1806	HENNEMAN	AVE	1383.	2229	HENNEMAN	AVE
1335.	1807	HENNEMAN	AVE	1384.	2230	HENNEMAN	AVE
1336.	1808	HENNEMAN	AVE	1385.	2231	HENNEMAN	AVE
1337.	1809	HENNEMAN	AVE	1386.	2232	HENNEMAN	AVE
1338.	1810	HENNEMAN	AVE	1387.	2233	HENNEMAN	AVE
1339.	1811	HENNEMAN	AVE	1388.	2234	HENNEMAN	AVE
1340.	1812	HENNEMAN	AVE	1389.	2235	HENNEMAN	AVE
1341.	1813	HENNEMAN	AVE	1390.	700 N	MADEIRA	ST
1342.	1814	HENNEMAN	AVE	1391.	701 N	MADEIRA	ST
1343.	1815	HENNEMAN	AVE	1392.	702 N	MADEIRA	ST
1344.	1816	HENNEMAN	AVE	1393.	703 N	MADEIRA	ST
1345.	1817	HENNEMAN	AVE	1394.	704 N	MADEIRA	ST
1346.	1818	HENNEMAN	AVE	1395.	705 N	MADEIRA	ST
1347.	1819	HENNEMAN	AVE	1396.	706 N	MADEIRA	ST
1348.	1820	HENNEMAN	AVE	1397.	707 N	MADEIRA	ST
1349.	1821	HENNEMAN	AVE	1398.	708 N	MADEIRA	ST
1350.	1822	HENNEMAN	AVE	1399.	709 N	MADEIRA	ST
1351.	1823	HENNEMAN	AVE	1400.	710 N	MADEIRA	ST
1352.	1824	HENNEMAN	AVE	1401.	711 N	MADEIRA	ST
1353.	1825	HENNEMAN	AVE	1402.	712 N	MADEIRA	ST
1354.	2200	HENNEMAN	AVE	1403.	713 N	MADEIRA	ST
1355.	2201	HENNEMAN	AVE	1404.	714 N	MADEIRA	ST
1356.	2202	HENNEMAN	AVE	1405.	715 N	MADEIRA	ST
1357.	2203	HENNEMAN	AVE	1406.	716 N	MADEIRA	ST
1358.	2204	HENNEMAN	AVE	1407.	717 N	MADEIRA	ST
1359.	2205	HENNEMAN	AVE	1408.	718 N	MADEIRA	ST
1360.	2206	HENNEMAN	AVE	1409.	719 N	MADEIRA	ST
1361.	2207	HENNEMAN	AVE	1410.	720 N	MADEIRA	ST
1362.	2208	HENNEMAN	AVE	1411.	722 N	MADEIRA	ST
1363.	2209	HENNEMAN	AVE	1412.	800 N	MADEIRA	ST
1364.	2210	HENNEMAN	AVE	1413.	801 N	MADEIRA	ST
1365.	2211	HENNEMAN	AVE	1414.	802 N	MADEIRA	ST
1366.	2212	HENNEMAN	AVE	1415.	803 N	MADEIRA	ST
1367.	2213	HENNEMAN	AVE	1416.	804 N	MADEIRA	ST
1368.	2214	HENNEMAN	AVE	1417.	805 N	MADEIRA	ST
1369.	2215	HENNEMAN	AVE	1418.	806 N	MADEIRA	ST
1370.	2216	HENNEMAN	AVE	1419.	807 N	MADEIRA	ST

1420.	808 N	MADEIRA	ST	1469.	925 N	MADEIRA	ST
1421.	809 N	MADEIRA	ST	1470.	926 N	MADEIRA	ST
1422.	810 N	MADEIRA	ST	1471.	927 N	MADEIRA	ST
1423.	811 N	MADEIRA	ST	1472.	928 N	MADEIRA	ST
1424.	812 N	MADEIRA	ST	1473.	929 N	MADEIRA	ST
1425.	813 N	MADEIRA	ST	1474.	930 N	MADEIRA	ST
1426.	814 N	MADEIRA	ST	1475.	931 N	MADEIRA	ST
1427.	815 N	MADEIRA	ST	1476.	932 N	MADEIRA	ST
1428.	816 N	MADEIRA	ST	1477.	933 N	MADEIRA	ST
1429.	817 N	MADEIRA	ST	1478.	934 N	MADEIRA	ST
1430.	818 N	MADEIRA	ST	1479.	936 N	MADEIRA	ST
1431.	819 N	MADEIRA	ST	1502.	1800 E	MADISON	ST
1432.	820 N	MADEIRA	ST	1503.	1802 E	MADISON	ST
1433.	821 N	MADEIRA	ST	1504.	1804 E	MADISON	ST
1434.	822 N	MADEIRA	ST	1505.	1806 E	MADISON	ST
1435.	823 N	MADEIRA	ST	1506.	1808 E	MADISON	ST
1436.	824 N	MADEIRA	ST	1507.	1810 E	MADISON	ST
1437.	825 N	MADEIRA	ST	1508.	1812 E	MADISON	ST
1438.	827 N	MADEIRA	ST	1509.	1814 E	MADISON	ST
1439.	829 N	MADEIRA	ST	1510.	1816 E	MADISON	ST
1440.	831 N	MADEIRA	ST	1511.	1818 E	MADISON	ST
1441.	833 N	MADEIRA	ST	1512.	1820 E	MADISON	ST
1442.	835 N	MADEIRA	ST	1513.	1822 E	MADISON	ST
1443.	837 N	MADEIRA	ST	1514.	1824 E	MADISON	ST
1444.	900 N	MADEIRA	ST	1515.	1826 E	MADISON	ST
1445.	901 N	MADEIRA	ST	1516.	1828 E	MADISON	ST
1446.	902 N	MADEIRA	ST	1517.	1830 E	MADISON	ST
1447.	903 N	MADEIRA	ST	1518.	1832 E	MADISON	ST
1448.	904 N	MADEIRA	ST	1519.	1834 E	MADISON	ST
1449.	905 N	MADEIRA	ST	1520.	1836 E	MADISON	ST
1450.	906 N	MADEIRA	ST	1521.	1838 E	MADISON	ST
1451.	907 N	MADEIRA	ST	1522.	1900 E	MADISON	ST
1452.	908 N	MADEIRA	ST	1523.	1902 E	MADISON	ST
1453.	909 N	MADEIRA	ST	1524.	1904 E	MADISON	ST
1454.	910 N	MADEIRA	ST	1525.	1906 E	MADISON	ST
1455.	911 N	MADEIRA	ST	1526.	1908 E	MADISON	ST
1456.	912 N	MADEIRA	ST	1527.	1910 E	MADISON	ST
1457.	913 N	MADEIRA	ST	1528.	1912 E	MADISON	ST
1458.	914 N	MADEIRA	ST	1529.	1914 E	MADISON	ST
1459.	915 N	MADEIRA	ST	1530.	1916 E	MADISON	ST
1460.	916 N	MADEIRA	ST	1531.	1918 E	MADISON	ST
1461.	917 N	MADEIRA	ST	1532.	1920 E	MADISON	ST
1462.	918 N	MADEIRA	ST	1533.	1922 E	MADISON	ST
1463.	919 N	MADEIRA	ST	1534.	1924 E	MADISON	ST
1464.	920 N	MADEIRA	ST	1535.	1926 E	MADISON	ST
1465.	921 N	MADEIRA	ST	1536.	1928 E	MADISON	ST
1466.	922 N	MADEIRA	ST	1537.	2000 E	MADISON	ST
1467.	923 N	MADEIRA	ST	1538.	2002 E	MADISON	ST
1468.	924 N	MADEIRA	ST	1539.	2004 E	MADISON	ST

1540.	2006 E	MADISON	ST	1614.	907	MCDONOGH	ST
1541.	2008 E	MADISON	ST	1615.	908	MCDONOGH	ST
1542.	2010 E	MADISON	ST	1616.	909	MCDONOGH	ST
1543.	2012 E	MADISON	ST	1617.	910	MCDONOGH	ST
1544.	2014 E	MADISON	ST	1618.	911	MCDONOGH	ST
1545.	2018 E	MADISON	ST	1619.	912	MCDONOGH	ST
1546.	2101 E	MADISON	ST	1620.	913	MCDONOGH	ST
1547.	2103 E	MADISON	ST	1621.	914	MCDONOGH	ST
1548.	2104 E	MADISON	ST	1622.	915	MCDONOGH	ST
1549.	2105 E	MADISON	ST	1623.	916	MCDONOGH	ST
1550.	2106 E	MADISON	ST	1624.	917	MCDONOGH	ST
1551.	2107 E	MADISON	ST	1625.	918	MCDONOGH	ST
1552.	2108 E	MADISON	ST	1626.	919	MCDONOGH	ST
1553.	2109 E	MADISON	ST	1627.	920	MCDONOGH	ST
1554.	2110 E	MADISON	ST	1628.	921	MCDONOGH	ST
1555.	2111 E	MADISON	ST	1629.	922	MCDONOGH	ST
1556.	2112 E	MADISON	ST	1630.	923	MCDONOGH	ST
1557.	2114 E	MADISON	ST	1631.	924	MCDONOGH	ST
1558.	2116 E	MADISON	ST	1632.	925	MCDONOGH	ST
1559.	2118 E	MADISON	ST	1633.	926	MCDONOGH	ST
1560.	2120 E	MADISON	ST	1634.	927	MCDONOGH	ST
1561.	2200 E	MADISON	ST	1635.	928	MCDONOGH	ST
1562.	2212 E	MADISON	ST	1636.	929	MCDONOGH	ST
1563.	2213 E	MADISON	ST	1637.	930	MCDONOGH	ST
1564.	2214 E	MADISON	ST	1638.	931	MCDONOGH	ST
1565.	2215 E	MADISON	ST	1639.	932	MCDONOGH	ST
1566.	2216 E	MADISON	ST	1640.	933	MCDONOGH	ST
1567.	2217 E	MADISON	ST	1641.	934	MCDONOGH	ST
1568.	2218 E	MADISON	ST	1642.	935	MCDONOGH	ST
1569.	2219 E	MADISON	ST	1643.	936	MCDONOGH	ST
1570.	2220 E	MADISON	ST	1644.	937	MCDONOGH	ST
1571.	2221 E	MADISON	ST	1645.	1002	MCDONOGH	ST
1572.	2222 E	MADISON	ST	1646.	1003	MCDONOGH	ST
1573.	2223 E	MADISON	ST	1647.	1004	MCDONOGH	ST
1574.	2224 E	MADISON	ST	1648.	1005	MCDONOGH	ST
1575.	2225 E	MADISON	ST	1649.	1006	MCDONOGH	ST
1576.	2226 E	MADISON	ST	1650.	1007	MCDONOGH	ST
1577.	2227 E	MADISON	ST	1651.	1008	MCDONOGH	ST
1578.	2228 E	MADISON	ST	1652.	1009	MCDONOGH	ST
1579.	2229 E	MADISON	ST	1653.	1010	MCDONOGH	ST
1580.	2230 E	MADISON	ST	1654.	1011	MCDONOGH	ST
1581.	2231 E	MADISON	ST	1655.	1012	MCDONOGH	ST
1582.	2232 E	MADISON	ST	1656.	1013	MCDONOGH	ST
1583.	2233 E	MADISON	ST	1657.	1014	MCDONOGH	ST
1609.	902	MCDONOGH	ST	1658.	1015	MCDONOGH	ST
1610.	903	MCDONOGH	ST	1659.	1016	MCDONOGH	ST
1611.	904	MCDONOGH	ST	1660.	1017	MCDONOGH	ST
1612.	905	MCDONOGH	ST	1661.	1018	MCDONOGH	ST
1613.	906	MCDONOGH	ST	1662.	1019	MCDONOGH	ST

1663.	1020	MCDONOGH	ST	1713.	724 N	PATTERSON PARK	AVE
1664.	1021	MCDONOGH	ST	1714.	726 N	PATTERSON PARK	AVE
1665.	1022	MCDONOGH	ST	1715.	728 N	PATTERSON PARK	AVE
1666.	1023	MCDONOGH	ST	1716.	730 N	PATTERSON PARK	AVE
1667.	1024	MCDONOGH	ST	1717.	732 N	PATTERSON PARK	AVE
1668.	1025	MCDONOGH	ST	1718.	734 N	PATTERSON PARK	AVE
1669.	1026	MCDONOGH	ST	1719.	736 N	PATTERSON PARK	AVE
1670.	1027	MCDONOGH	ST	1720.	738 N	PATTERSON PARK	AVE
1671.	1028	MCDONOGH	ST	1721.	740 N	PATTERSON PARK	AVE
1672.	1029	MCDONOGH	ST	1722.	742 N	PATTERSON PARK	AVE
1673.	1030	MCDONOGH	ST	1723.	744 N	PATTERSON PARK	AVE
1674.	1031	MCDONOGH	ST	1724.	746 N	PATTERSON PARK	AVE
1675.	1032	MCDONOGH	ST	1725.	800 N	PATTERSON PARK	AVE
1676.	1033	MCDONOGH	ST	1726.	802 N	PATTERSON PARK	AVE
1677.	1034	MCDONOGH	ST	1727.	804 N	PATTERSON PARK	AVE
1678.	1035	MCDONOGH	ST	1728.	806 N	PATTERSON PARK	AVE
1679.	1036	MCDONOGH	ST	1729.	808 N	PATTERSON PARK	AVE
1680.	1037	MCDONOGH	ST	1730.	810 N	PATTERSON PARK	AVE
1681.	1038	MCDONOGH	ST	1731.	812 N	PATTERSON PARK	AVE
1682.	1039	MCDONOGH	ST	1732.	814 N	PATTERSON PARK	AVE
1683.	1040	MCDONOGH	ST	1733.	816 N	PATTERSON PARK	AVE
1684.	1041	MCDONOGH	ST	1734.	818 N	PATTERSON PARK	AVE
1685.	1042	MCDONOGH	ST	1735.	820 N	PATTERSON PARK	AVE
1686.	1043	MCDONOGH	ST	1736.	822 N	PATTERSON PARK	AVE
1687.	1102	MCDONOGH	ST	1737.	824 N	PATTERSON PARK	AVE
1688.	1104	MCDONOGH	ST	1738.	826 N	PATTERSON PARK	AVE
1689.	1105	MCDONOGH	ST	1739.	828 N	PATTERSON PARK	AVE
1690.	1106	MCDONOGH	ST	1740.	830 N	PATTERSON PARK	AVE
1691.	1107	MCDONOGH	ST	1741.	832 N	PATTERSON PARK	AVE
1692.	1108	MCDONOGH	ST	1742.	834 N	PATTERSON PARK	AVE
1693.	1109	MCDONOGH	ST	1743.	836 N	PATTERSON PARK	AVE
1694.	1110	MCDONOGH	ST	1744.	838 N	PATTERSON PARK	AVE
1695.	1111	MCDONOGH	ST	1745.	840 N	PATTERSON PARK	AVE
1696.	1112	MCDONOGH	ST	1746.	842 N	PATTERSON PARK	AVE
1697.	1113	MCDONOGH	ST	1747.	844 N	PATTERSON PARK	AVE
1698.	1114	MCDONOGH	ST	1748.	900 N	PATTERSON PARK	AVE
1699.	1115	MCDONOGH	ST	1749.	902 N	PATTERSON PARK	AVE
1700.	1116	MCDONOGH	ST	1750.	904 N	PATTERSON PARK	AVE
1701.	1117	MCDONOGH	ST	1751.	906 N	PATTERSON PARK	AVE
1702.	1118	MCDONOGH	ST	1752.	908 N	PATTERSON PARK	AVE
1703.	1119	MCDONOGH	ST	1753.	910 N	PATTERSON PARK	AVE
1704.	1120	MCDONOGH	ST	1754.	912 N	PATTERSON PARK	AVE
1705.	1121	MCDONOGH	ST	1755.	914 N	PATTERSON PARK	AVE
1706.	1122	MCDONOGH	ST	1756.	916 N	PATTERSON PARK	AVE
1707.	1123	MCDONOGH	ST	1757.	918 N	PATTERSON PARK	AVE
1708.	1124	MCDONOGH	ST	1758.	920 N	PATTERSON PARK	AVE
1710.	718 N	PATTERSON PARK	AVE	1759.	922 N	PATTERSON PARK	AVE
1711.	720 N	PATTERSON PARK	AVE	1760.	924 N	PATTERSON PARK	AVE
1712.	722 N	PATTERSON PARK	AVE	1761.	926 N	PATTERSON PARK	AVE

1762.	928 N	PATTERSON PARK	AVE	1811.	2215	PRENTISS	PL
1763.	930 N	PATTERSON PARK	AVE	1812.	2216	PRENTISS	PL
1764.	932 N	PATTERSON PARK	AVE	1813.	2217	PRENTISS	PL
1765.	934 N	PATTERSON PARK	AVE	1814.	2218	PRENTISS	PL
1766.	936 N	PATTERSON PARK	AVE	1815.	2219	PRENTISS	PL
1767.	938 N	PATTERSON PARK	AVE	1816.	2220	PRENTISS	PL
1768.	940 N	PATTERSON PARK	AVE	1817.	2221	PRENTISS	PL
1769.	942 N	PATTERSON PARK	AVE	1818.	2222	PRENTISS	PL
1770.	1000 N	PATTERSON PARK	AVE	1819.	2223	PRENTISS	PL
1771.	1002 N	PATTERSON PARK	AVE	1820.	2224	PRENTISS	PL
1772.	1004 N	PATTERSON PARK	AVE	1821.	2225	PRENTISS	PL
1773.	1006 N	PATTERSON PARK	AVE	1822.	2226	PRENTISS	PL
1774.	1008 N	PATTERSON PARK	AVE	1823.	2227	PRENTISS	PL
1775.	1010 N	PATTERSON PARK	AVE	1824.	2228	PRENTISS	PL
1776.	1012 N	PATTERSON PARK	AVE	1825.	2229	PRENTISS	PL
1777.	1014 N	PATTERSON PARK	AVE	1826.	2230	PRENTISS	PL
1778.	1016 N	PATTERSON PARK	AVE	1827.	2231	PRENTISS	PL
1779.	1018 N	PATTERSON PARK	AVE	1828.	2232	PRENTISS	PL
1780.	1020 N	PATTERSON PARK	AVE	1829.	2233	PRENTISS	PL
1781.	1022 N	PATTERSON PARK	AVE	1830.	2234	PRENTISS	PL
1782.	1024 N	PATTERSON PARK	AVE	1831.	2235	PRENTISS	PL
1783.	1026 N	PATTERSON PARK	AVE	1832.	2236	PRENTISS	PL
1784.	1028 N	PATTERSON PARK	AVE	1833.	2237	PRENTISS	PL
1785.	1030 N	PATTERSON PARK	AVE	1834.	2238	PRENTISS	PL
1786.	1032 N	PATTERSON PARK	AVE	1835.	2239	PRENTISS	PL
1787.	1034 N	PATTERSON PARK	AVE	1836.	2240	PRENTISS	PL
1788.	1100 N	PATTERSON PARK	AVE	1837.	2241	PRENTISS	PL
1789.	1102 N	PATTERSON PARK	AVE	1838.	2242	PRENTISS	PL
1790.	1104 N	PATTERSON PARK	AVE	1839.	2243	PRENTISS	PL
1791.	1106 N	PATTERSON PARK	AVE	1840.	2244	PRENTISS	PL
1792.	1108 N	PATTERSON PARK	AVE	1841.	801	RUTLAND	AVE
1793.	1110 N	PATTERSON PARK	AVE	1842.	803	RUTLAND	AVE
1794.	1112 N	PATTERSON PARK	AVE	1844.	805	RUTLAND	AVE
1795.	1114 N	PATTERSON PARK	AVE	1846.	807	RUTLAND	AVE
1796.	2200	PRENTISS	PL	1848.	809	RUTLAND	AVE
1797.	2201	PRENTISS	PL	1850.	811	RUTLAND	AVE
1798.	2202	PRENTISS	PL	1852.	813	RUTLAND	AVE
1799.	2203	PRENTISS	PL	1854.	815	RUTLAND	AVE
1800.	2204	PRENTISS	PL	1856.	817	RUTLAND	AVE
1801.	2205	PRENTISS	PL	1858.	819	RUTLAND	AVE
1802.	2206	PRENTISS	PL	1860.	821	RUTLAND	AVE
1803.	2207	PRENTISS	PL	1862.	823	RUTLAND	AVE
1804.	2208	PRENTISS	PL	1864.	825	RUTLAND	AVE
1805.	2209	PRENTISS	PL	1866.	827	RUTLAND	AVE
1806.	2210	PRENTISS	PL	1868.	829	RUTLAND	AVE
1807.	2211	PRENTISS	PL	1870.	831	RUTLAND	AVE
1808.	2212	PRENTISS	PL	1872.	833	RUTLAND	AVE
1809.	2213	PRENTISS	PL	1874.	835	RUTLAND	AVE
1810.	2214	PRENTISS	PL	1875.	837	RUTLAND	AVE

1876.	839	RUTLAND	AVE	1925.	1009	RUTLAND	AVE
1877.	900	RUTLAND	AVE	1926.	1010	RUTLAND	AVE
1878.	901	RUTLAND	AVE	1927.	1011	RUTLAND	AVE
1879.	902	RUTLAND	AVE	1928.	1012	RUTLAND	AVE
1880.	903	RUTLAND	AVE	1929.	1013	RUTLAND	AVE
1881.	904	RUTLAND	AVE	1930.	1014	RUTLAND	AVE
1882.	905	RUTLAND	AVE	1931.	1015	RUTLAND	AVE
1883.	906	RUTLAND	AVE	1932.	1016	RUTLAND	AVE
1884.	907	RUTLAND	AVE	1933.	1017	RUTLAND	AVE
1885.	908	RUTLAND	AVE	1934.	1018	RUTLAND	AVE
1886.	909	RUTLAND	AVE	1935.	1019	RUTLAND	AVE
1887.	910	RUTLAND	AVE	1936.	1020	RUTLAND	AVE
1888.	911	RUTLAND	AVE	1937.	1021	RUTLAND	AVE
1889.	912	RUTLAND	AVE	1938.	1022	RUTLAND	AVE
1890.	913	RUTLAND	AVE	1939.	1023	RUTLAND	AVE
1891.	914	RUTLAND	AVE	1940.	1024	RUTLAND	AVE
1892.	915	RUTLAND	AVE	1941.	1025	RUTLAND	AVE
1893.	916	RUTLAND	AVE	1942.	1026	RUTLAND	AVE
1894.	917	RUTLAND	AVE	1943.	1027	RUTLAND	AVE
1895.	918	RUTLAND	AVE	1944.	1028	RUTLAND	AVE
1896.	919	RUTLAND	AVE	1945.	1029	RUTLAND	AVE
1897.	920	RUTLAND	AVE	1946.	1030	RUTLAND	AVE
1898.	921	RUTLAND	AVE	1947.	1031	RUTLAND	AVE
1899.	922	RUTLAND	AVE	1948.	1032	RUTLAND	AVE
1900.	923	RUTLAND	AVE	1949.	1033	RUTLAND	AVE
1901.	924	RUTLAND	AVE	1950.	1034	RUTLAND	AVE
1902.	925	RUTLAND	AVE	1951.	1035	RUTLAND	AVE
1903.	926	RUTLAND	AVE	1952.	1036	RUTLAND	AVE
1904.	927	RUTLAND	AVE	1953.	1037	RUTLAND	AVE
1905.	928	RUTLAND	AVE	1954.	1039	RUTLAND	AVE
1906.	929	RUTLAND	AVE	1955.	1041	RUTLAND	AVE
1907.	930	RUTLAND	AVE	1956.	1100	RUTLAND	AVE
1908.	931	RUTLAND	AVE	1957.	1101	RUTLAND	AVE
1909.	932	RUTLAND	AVE	1958.	1102	RUTLAND	AVE
1910.	933	RUTLAND	AVE	1959.	1103	RUTLAND	AVE
1911.	934	RUTLAND	AVE	1960.	1104	RUTLAND	AVE
1912.	935	RUTLAND	AVE	1961.	1105	RUTLAND	AVE
1913.	937	RUTLAND	AVE	1962.	1106	RUTLAND	AVE
1914.	939	RUTLAND	AVE	1963.	1107	RUTLAND	AVE
1915.	941	RUTLAND	AVE	1964.	1108	RUTLAND	AVE
1916.	1000	RUTLAND	AVE	1965.	1109	RUTLAND	AVE
1917.	1001	RUTLAND	AVE	1966.	1110	RUTLAND	AVE
1918.	1002	RUTLAND	AVE	1967.	1111	RUTLAND	AVE
1919.	1003	RUTLAND	AVE	1968.	1112	RUTLAND	AVE
1920.	1004	RUTLAND	AVE	1969.	1113	RUTLAND	AVE
1921.	1005	RUTLAND	AVE	1970.	1114	RUTLAND	AVE
1922.	1006	RUTLAND	AVE	1971.	1115	RUTLAND	AVE
1923.	1007	RUTLAND	AVE	1972.	1116	RUTLAND	AVE
1924.	1008	RUTLAND	AVE	1973.	1117	RUTLAND	AVE

1974.	1118	RUTLAND	AVE	2063.	928 N	WASHINGTON	ST
1975.	1120	RUTLAND	AVE	2064.	929 N	WASHINGTON	ST
1976.	900	SHUTER	ST	2065.	930 N	WASHINGTON	ST
1977.	901	SHUTER	ST	2066.	931 N	WASHINGTON	ST
1978.	902	SHUTER	ST	2067.	932 N	WASHINGTON	ST
1979.	903	SHUTER	ST	2068.	933 N	WASHINGTON	ST
1980.	904	SHUTER	ST	2069.	934 N	WASHINGTON	ST
1981.	905	SHUTER	ST	2070.	935 N	WASHINGTON	ST
1982.	906	SHUTER	ST	2071.	936 N	WASHINGTON	ST
1983.	907	SHUTER	ST	2072.	937 N	WASHINGTON	ST
1984.	908	SHUTER	ST	2073.	938 N	WASHINGTON	ST
1985.	909	SHUTER	ST	2074.	939 N	WASHINGTON	ST
1986.	910	SHUTER	ST	2075.	940 N	WASHINGTON	ST
1987.	911	SHUTER	ST	2076.	941 N	WASHINGTON	ST
1988.	912	SHUTER	ST	2077.	942 N	WASHINGTON	ST
1989.	913	SHUTER	ST	2078.	943 N	WASHINGTON	ST
1990.	914	SHUTER	ST	2079.	944 N	WASHINGTON	ST
1991.	915	SHUTER	ST	2080.	945 N	WASHINGTON	ST
1992.	916	SHUTER	ST	2081.	946 N	WASHINGTON	ST
1993.	917	SHUTER	ST	2082.	947 N	WASHINGTON	ST
1994.	918	SHUTER	ST	2083.	948 N	WASHINGTON	ST
1995.	919	SHUTER	ST	2084.	949 N	WASHINGTON	ST
1996.	920	SHUTER	ST	2085.	950 N	WASHINGTON	ST
1997.	921	SHUTER	ST	2086.	951 N	WASHINGTON	ST
1998.	922	SHUTER	ST	2087.	952 N	WASHINGTON	ST
1999.	923	SHUTER	ST	2088.	953 N	WASHINGTON	ST
2040.	900 N	WASHINGTON	ST	2089.	954 N	WASHINGTON	ST
2041.	902 N	WASHINGTON	ST	2090.	955 N	WASHINGTON	ST
2042.	904 N	WASHINGTON	ST	2091.	956 N	WASHINGTON	ST
2043.	906 N	WASHINGTON	ST	2092.	957 N	WASHINGTON	ST
2044.	908 N	WASHINGTON	ST	2093.	958 N	WASHINGTON	ST
2045.	910 N	WASHINGTON	ST	2094.	959 N	WASHINGTON	ST
2046.	911 N	WASHINGTON	ST	2095.	960 N	WASHINGTON	ST
2047.	912 N	WASHINGTON	ST	2096.	961 N	WASHINGTON	ST
2048.	913 N	WASHINGTON	ST	2097.	962 N	WASHINGTON	ST
2049.	914 N	WASHINGTON	ST	2098.	963 N	WASHINGTON	ST
2050.	915 N	WASHINGTON	ST	2099.	964 N	WASHINGTON	ST
2051.	916 N	WASHINGTON	ST	2100.	966 N	WASHINGTON	ST
2052.	917 N	WASHINGTON	ST	2101.	968 N	WASHINGTON	ST
2053.	918 N	WASHINGTON	ST	2102.	1001 N	WASHINGTON	ST
2054.	919 N	WASHINGTON	ST	2103.	1002 N	WASHINGTON	ST
2055.	920 N	WASHINGTON	ST	2104.	1004 N	WASHINGTON	ST
2056.	921 N	WASHINGTON	ST	2105.	1005 N	WASHINGTON	ST
2057.	922 N	WASHINGTON	ST	2106.	1006 N	WASHINGTON	ST
2058.	923 N	WASHINGTON	ST	2107.	1007 N	WASHINGTON	ST
2059.	924 N	WASHINGTON	ST	2108.	1008 N	WASHINGTON	ST
2060.	925 N	WASHINGTON	ST	2109.	1009 N	WASHINGTON	ST
2061.	926 N	WASHINGTON	ST	2110.	1010 N	WASHINGTON	ST
2062.	927 N	WASHINGTON	ST	2111.	1011 N	WASHINGTON	ST

2112.	1012 N	WASHINGTON	ST	2161.	831 N	WOLFE	ST
2113.	1014 N	WASHINGTON	ST	2162.	833 N	WOLFE	ST
2114.	1015 N	WASHINGTON	ST	2163.	835 N	WOLFE	ST
2115.	1016 N	WASHINGTON	ST	2164.	837 N	WOLFE	ST
2116.	1017 N	WASHINGTON	ST	2165.	839 N	WOLFE	ST
2117.	1018 N	WASHINGTON	ST	2165(1)	900 N	WOLFE	ST
2118.	1019 N	WASHINGTON	ST	2166.	901 N	WOLFE	ST
2119.	1020 N	WASHINGTON	ST	2167.	902 N	WOLFE	ST
2120.	1021 N	WASHINGTON	ST	2168.	903 N	WOLFE	ST
2121.	1022 N	WASHINGTON	ST	2169.	904 N	WOLFE	ST
2122.	1023 N	WASHINGTON	ST	2170.	905 N	WOLFE	ST
2123.	1024 N	WASHINGTON	ST	2171.	906 N	WOLFE	ST
2124.	1025 N	WASHINGTON	ST	2172.	907 N	WOLFE	ST
2125.	1026 N	WASHINGTON	ST	2173.	908 N	WOLFE	ST
2126.	1027 N	WASHINGTON	ST	2174.	909 N	WOLFE	ST
2127.	1028 N	WASHINGTON	ST	2175.	910 N	WOLFE	ST
2128.	1029 N	WASHINGTON	ST	2176.	911 N	WOLFE	ST
2129.	1030 N	WASHINGTON	ST	2177.	912 N	WOLFE	ST
2130.	1031 N	WASHINGTON	ST	2178.	913 N	WOLFE	ST
2131.	1032 N	WASHINGTON	ST	2179.	914 N	WOLFE	ST
2132.	1034 N	WASHINGTON	ST	2180.	915 N	WOLFE	ST
2133.	1103 N	WASHINGTON	ST	2181.	916 N	WOLFE	ST
2134.	800 N	WOLFE	ST	2182.	917 N	WOLFE	ST
2135.	802 N	WOLFE	ST	2183.	918 N	WOLFE	ST
2136.	803 N	WOLFE	ST	2184.	919 N	WOLFE	ST
2137.	804 N	WOLFE	ST	2185.	920 N	WOLFE	ST
2138.	805 N	WOLFE	ST	2186.	921 N	WOLFE	ST
2139.	806 N	WOLFE	ST	2187.	922 N	WOLFE	ST
2140.	807 N	WOLFE	ST	2188.	923 N	WOLFE	ST
2141.	808 N	WOLFE	ST	2189.	924 N	WOLFE	ST
2142.	809 N	WOLFE	ST	2190.	925 N	WOLFE	ST
2143.	810 N	WOLFE	ST	2191.	926 N	WOLFE	ST
2144.	811 N	WOLFE	ST	2192.	927 N	WOLFE	ST
2145.	812 N	WOLFE	ST	2193.	928 N	WOLFE	ST
2146.	813 N	WOLFE	ST	2194.	929 N	WOLFE	ST
2147.	814 N	WOLFE	ST	2195.	930 N	WOLFE	ST
2148.	815 N	WOLFE	ST	2196.	931 N	WOLFE	ST
2149.	816 N	WOLFE	ST	2197.	932 N	WOLFE	ST
2150.	817 N	WOLFE	ST	2198.	933 N	WOLFE	ST
2151.	818 N	WOLFE	ST	2199.	934 N	WOLFE	ST
2152.	819 N	WOLFE	ST	2200.	935 N	WOLFE	ST
2153.	820 N	WOLFE	ST	2201.	936 N	WOLFE	ST
2154.	821 N	WOLFE	ST	2202.	937 N	WOLFE	ST
2155.	822 N	WOLFE	ST	2203.	938 N	WOLFE	ST
2156.	823 N	WOLFE	ST	2204.	939 N	WOLFE	ST
2157.	824 N	WOLFE	ST	2205.	940 N	WOLFE	ST
2158.	825 N	WOLFE	ST	2206.	941 N	WOLFE	ST
2159.	827 N	WOLFE	ST	2207.	942 N	WOLFE	ST
2160.	829 N	WOLFE	ST	2208.	943 N	WOLFE	ST

2209.	945 N	WOLFE	ST	2245.	1028 N	WOLFE	ST
2210.	947 N	WOLFE	ST	2246.	1029 N	WOLFE	ST
2211.	949 N	WOLFE	ST	2247.	1030 N	WOLFE	ST
2212.	951 N	WOLFE	ST	2248.	1031 N	WOLFE	ST
2213.	953 N	WOLFE	ST	2249.	1032 N	WOLFE	ST
2214.	955 N	WOLFE	ST	2250.	1033 N	WOLFE	ST
2215.	957 N	WOLFE	ST	2251.	1034 N	WOLFE	ST
2216.	959 N	WOLFE	ST	2252.	1035 N	WOLFE	ST
2217.	961 N	WOLFE	ST	2253.	1036 N	WOLFE	ST
2218.	963 N	WOLFE	ST	2254.	1037 N	WOLFE	ST
2219.	967 N	WOLFE	ST	2255.	1038 N	WOLFE	ST
2220.	1000 N	WOLFE	ST	2256.	1039 N	WOLFE	ST
2221.	1003 N	WOLFE	ST	2257.	1040 N	WOLFE	ST
2222.	1004 N	WOLFE	ST	2258.	1042 N	WOLFE	ST
2223.	1006 N	WOLFE	ST	2259.	1100 N	WOLFE	ST
2224.	1007 N	WOLFE	ST	2261.	1102 N	WOLFE	ST
2225.	1008 N	WOLFE	ST	2262.	1112 N	WOLFE	ST
2226.	1009 N	WOLFE	ST	2263.	1114 N	WOLFE	ST
2227.	1010 N	WOLFE	ST	2264.	1116 N	WOLFE	ST
2228.	1011 N	WOLFE	ST	2265.	Wd.08 S.12 Block 1547		Lot 040
2229.	1012 N	WOLFE	ST	2266.	Wd.08 S.12 Block 1548		Lot 055
2230.	1013 N	WOLFE	ST	2267.	Wd.08 S.12 Block 1551		Lot 004
2231.	1014 N	WOLFE	ST	2268.	Wd.08 S.12 Block 1551		Lot 039
2232.	1015 N	WOLFE	ST	2269.	Wd.07 S.07 Block 1565		Lot 060
2233.	1016 N	WOLFE	ST	2270.	Wd.07 S.04 Block 1567		Lot 115
2234.	1017 N	WOLFE	ST	2271.	Wd.08 S.13 Block 1569		Lot 032
2235.	1018 N	WOLFE	ST	2272.	Wd.08 S.13 Block 1569		Lot 033
2236.	1019 N	WOLFE	ST				
2237.	1020 N	WOLFE	ST				
2238.	1021 N	WOLFE	ST				
2239.	1022 N	WOLFE	ST				
2240.	1023 N	WOLFE	ST				
2241.	1024 N	WOLFE	ST				
2242.	1025 N	WOLFE	ST				
2243.	1026 N	WOLFE	ST				
2244.	1027 N	WOLFE	ST				



New East Baltimore Community

DESIGN GUIDELINES

30 march 2005

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5 REHABILITATION GUIDELINES (FOR EXISTING PROPERTY)

Residential Property Rehabilitation
Non-Residential Property Rehabilitation

Introduction

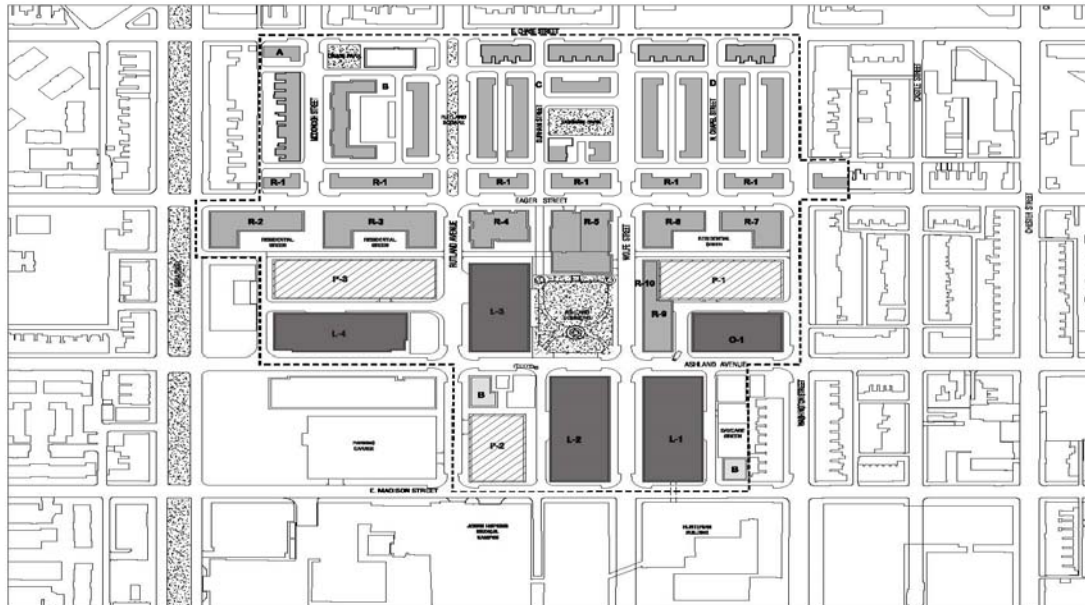
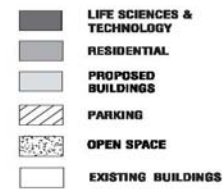
PURPOSE AND INTENT

DESIGN PRINCIPLES

WAIVERS

In accordance with the terms of the land disposition and development agreement previously executed by the City of Baltimore and EBDI, these guidelines may only be waived by the Commissioner of the Department of Housing and Community Development (DHCD), after review and comment by the East Baltimore Development Incorporated (EBDI).

Full waivers to these guidelines will not be granted. Waivers to specific provisions will only be considered on a case-by-case basis. Requests for waivers must be submitted in writing to the Department of Housing and Community Development and EBDI. They must include adequate drawings and explanations in support of the waiver request.



New East Baltimore Community Design Guidelines 3

PURPOSE AND INTENT

The purpose of these guidelines is to support the principles and goals of the New East Baltimore Development Plan. The guidelines are organized around five sections to guide the development of the new Life Sciences and Residential areas.

The over-riding goal of the plan is to bring about the revitalization of East Baltimore as a vital and stable community within the City. The proposed investment in creating a life sciences center will make it possible to attract investment and funding for neighborhood revitalization. The revitalization of the neighborhood and the development of the life sciences complex must be coordinated to mutually reinforce each other.

Therefore the design of buildings and public spaces should conform to a set of guidelines with the following objectives:

- a. Guide the orderly development of a mixed-use urban center for the growing life sciences industry and related businesses and services.
- b. Ensure a high quality of residential development that will revitalize surrounding neighborhoods with a combination of new construction and property rehabilitation.
- c. Create a continuous and stable pedestrian environment for businesses and residents.
- d. Provide convenient, sufficient and inconspicuous parking to serve businesses.
- e. Strengthen and reinforce Broadway as a unique urban boulevard by preserving its historical and architectural character and its role as the spine from Fells Point to North Avenue.

These guidelines are included in the Middle East Urban Renewal Plan, and will serve as the basis for guidelines to be included in the other four Urban Renewal Area Plans- Broadway East, Oliver, Johnston Square and Gay Street- that collectively with Middle East make up the East Baltimore Revitalization Area.

The sections apply to the areas indicated on the plan

- . • Life Sciences Guidelines
- . • Residential and Non-Residential New Construction and Property Rehabilitation Standards

DESIGN PRINCIPLES

The development of the plan for a Life Sciences, Residential Mixed-Use Neighborhood in East Baltimore have been guided by seven design principles from the earliest concepts to the finalized master plan and design guidelines. These principles include:

1. Revitalize as an Integral Part of Baltimore

This principle calls for design which makes a positive contribution to the immediate context of the revitalization area – rather than extending the wall of buildings that has characterized the northern edge of Johns Hopkins Hospital, this new development will establish an integration of uses and a comfortable pedestrian atmosphere. Along with this, will come attention to visual and physical connections to the larger urban fabric, including streets, transit, parks and pathways.

2. Begin with Open Space

Open space will be the defining element of the plan, including one major public green along with smaller parks, squares, pedestrian ways and a system of welcoming, safe and attractive

streets. Design attention to the manner in which buildings frame and enliven open spaces will also be important.

3. Invite Diversity

In design terms, diversity will be achieved through the weaving of residential, retail and life science uses to relate positively to each other and serve to enliven streets and public spaces. Streets, sidewalks, and pedestrian ways will enable direct visual and physical access to the amenities of the neighborhood. Further, diversity will be reinforced through multiple living options for existing residents and new neighbors.

4. Create Life on the Street A principle common to every street in the new neighborhood must be an attention to attractive, safe streets and sidewalks. This will be achieved through placement of door and windows for visibility toward the street and interest for the passerby. Careful attention to placement and programming of retail uses, and uses at the ground floors of life science and residential buildings can go far toward this goal. The major focus will be on Ashland, Wolfe and Eager Streets along with the buildings that border the common green space.

5. Provide Services for Good Urban Living The network of design elements that define good urban living need attention in all phases of East Baltimore revitalization including; a pedestrian network, a focus on transit access, convenience of local retail and services, day care facilities and family friendly housing and open spaces.

6. Provide Services for World Class Life Sciences Design for life sciences must take into account the lives of research teams working long hours and in isolated settings and provide the services that support their needs and invite them to enjoy a mixed-use urban setting; This includes designing for 18 or 24 hour use, accommodating institutional and private users, assuring an identity and sense of place with design of convivial open space and retail settings, and designing for safety without gates.

7. Design Sites and Buildings that Endure

This principle commits the design and development team to an approach that celebrates and integrates historic resources, provides sustainable design for sites and buildings, establishes long term management strategies and plans for a critical mass of development to support urban services.

Open Space

OPEN SPACE SYSTEM

The New East Baltimore Community Plan open space system creates a network of parks, gardens, and play areas which are appropriate to their location and respond to their adjacent uses. Open space plays a central role in the overall development plan with the objectives of bringing people together in safe, attractive surroundings, establishing a character of green streets and gracious public spaces within easy walk of all living and working settings, and designing such spaces for appropriate activities, maintenance and safety.

The total public open space provided will contribute to the overall revitalization of East Baltimore and will become an extension of the city-wide distribution of public open space. It is anticipated that these open spaces will serve a wide range of constituents with a variety of active and passive uses.






Concept rendering of Ashland Common

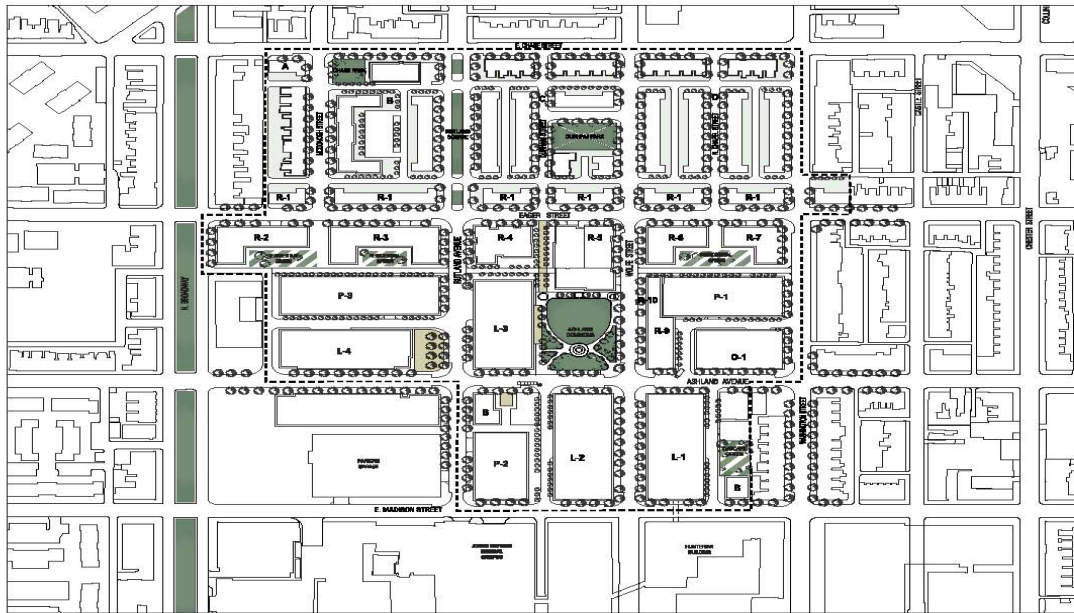


Creating an open space system that invites use

PRIMARY PUBLIC OPEN SPACES

The plan calls for a network of public open spaces to serve a diverse population and varying objectives. These guidelines recognize the types of open space needed, and provide examples of how these needs can be met. Any plan for this area begins with recognition of Broadway as a celebrated green corridor in the City and designs for other public open spaces, streets, and buildings should respect this historic role. Within the Plan area, three types of open space are planned: A commons, a new residential square, and neighborhood multi-use parks. Please note that all guidelines are only conceptual in nature and will evolve as the design of these spaces become further developed. Outlined in this section are the general guidelines for these types of open spaces utilizing specific examples of how they can be applied in this area.

-  **PUBLIC OPEN SPACE**
-  **PUBLIC PLAZA**
-  **SEMI-PUBLIC OPEN SPACE**
-  **PRIVATE OPEN SPACE**
-  **EXISTING BUILDINGS**



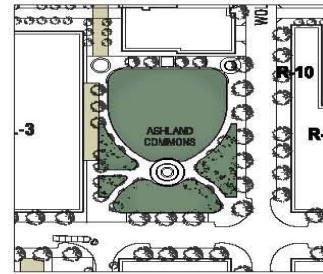
Open Space Plan

The Public Commons

Ashland Commons is the major and largest open space within the New East Baltimore Plan and is considered the heart of the district. It is here that life science and residential uses meet and it is to this location that all major pedestrian routes easily lead residents from surrounding blocks and neighborhoods.

Viewed from the major access route along Wolfe; neighborhood gathering spots along Ashland; or from any of the nine residential, life science, and community parcels that ring the Common, there should be no doubt about its public character. Because of its central location and because it is surrounded by life science, residential, and retail uses, it can serve to create a public identity for the district and provide a variety of uses for people who will work and live in the area. Key guidelines include:

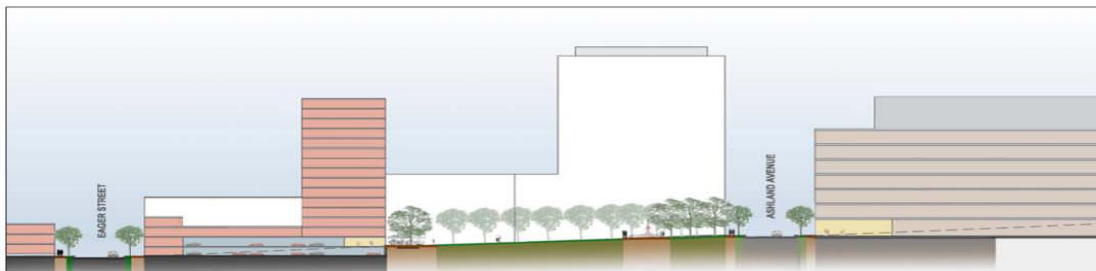
- *Provide opportunities for both active and passive activities appropriate to a flexible, multi-use public commons.*
- *Provide a focal point or significant design feature for the neighborhood.*
- *Ensure adequate and appropriate lighting for pedestrian safety*
- *Encourage uses and activities to spill out into the park from the adjacent buildings by providing special paving and seating areas adjacent to the ground floor of the buildings.*
- *Provide a flexible open lawn space for formal events, informal gatherings or recreational activities.*
- *Link effectively to streets and pedestrian ways leading to the Commons through visual identity, visibility, landscape materials compatibility and signage.*



Plan of Ashland Common
(Illustrative concept only)



Ashland Common will have active edges



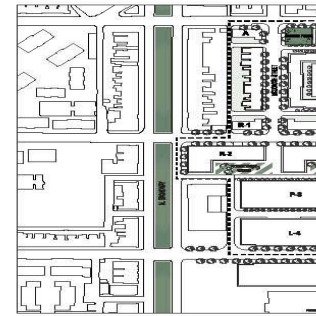
Section through Ashland Common

10 OPEN SPACE

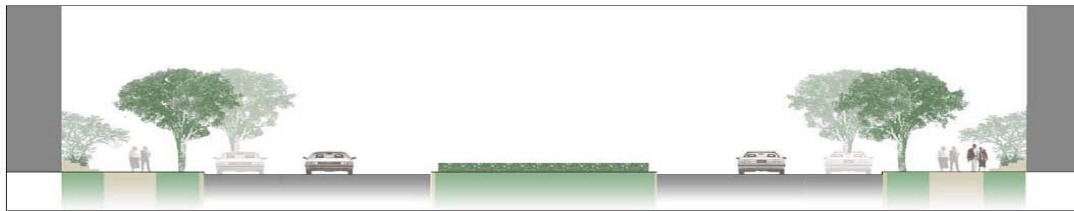
The Residential Square

Reminiscent of several gracious boulevards located throughout Baltimore, Rutland Square exemplifies this type of open space and provides an important open space within the residential portion of the community. Envisioned as a public green, Rutland Square is flanked by one-way travel lanes and parallel parking. The green may be planted with street trees or may be designed to incorporate a variety of gardens and sitting areas. Existing utility locations in this area need further investigation to define the potential limitations on planting trees. Key guidelines for the park include:

- *Building entries are to face onto the park to ensure as many “eyes on the park” as possible.*
- *Coordinate selection and siting of trees in the central green with trees along the sidewalks to create an effective and pleasing ensemble that establishes a strong image for Rutland Square as a whole.*
- *Special paving for small sitting areas or walks within the open space is encouraged.*



Rutland Square Plan
(Concept Only)



Section through Rutland Square

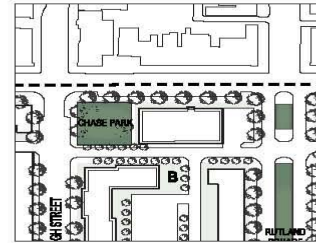
The Neighborhood Multi-Use Parks

Chase Park

Residential neighborhood park space should be provided within easy walking distance of all residential areas north of Eager. Two examples of the intended scale and program are provided here, though the precise location and design for the neighborhood parks may be modified.

A small neighborhood park is planned at Chase and McDonough, within easy walking distance of multiple residences and easily visible from major streets. This park will provide for small scale passive and active recreational uses by locating benches for seating and social activities of older residents and providing a small play area for young children. Key guidelines include:

- *Neighborhood park to provide opportunities for both active and passive recreation.*
- *Maintain visibility through the park from surrounding streets.*
- *Design for consistency with character of open space network, for flexible use and for ease of maintenance.*

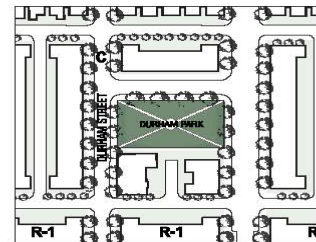


Chase Park Plan
(Concept Only)

Durham Park

As a second example, Durham Park is located in the heart of the residential neighborhood north of Eager Street and envisioned as a traditional neighborhood multi-use open space. Surrounded by canopy trees along the streets, the park will provide for passive and active recreational uses by locating benches for seating on edges, providing focal elements such as ornamental plantings, providing a small play area for young children, and accommodating open lawn areas for picnicking and other informal activities. The precise location and design of this particular park will be determined as designs for this residential area are finalized. Key guidelines include:

- *Neighborhood park to provide opportunities for both active and passive recreation.*
- *Provide benches and smaller seating areas or benches throughout the park.*
- *Design for consistency with character of open space network, for flexible use and for ease of maintenance.*



Durham Park Plan
(Concept Only)

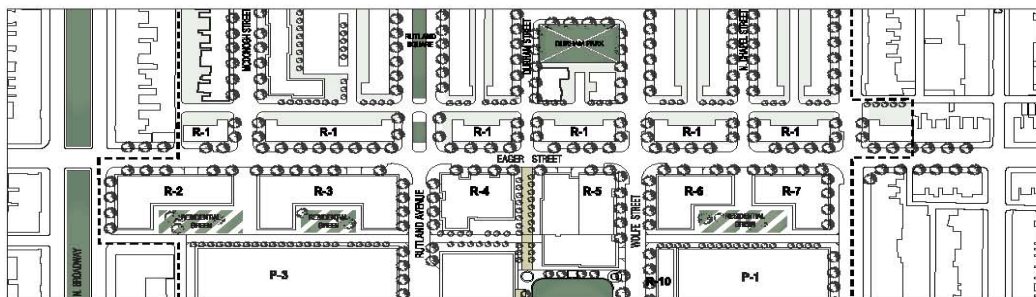
Private Open Spaces

Beyond the network of public spaces will be a variety of small private spaces that will enhance the green nature of the neighborhood. Private residential open space may consist of open space for an individual unit or common usable open space shared by residents.

- *Larger scale residential buildings are encouraged to provide south facing courtyards and upper floor terraces. These spaces should provide a variety of hard and softscape elements such as patios, lawns, and landscaping to promote outdoor use for both passive and active recreation.*
- *Private open space may be enclosed to provide separation from public areas, sidewalks or streets, with choice of fencing and walls as compatible with building and streetscape design and for the assurance of safety and security.*
- *Single family residences should provide rear yards that function for either private gardens or can serve for parking courts.*

HORTICULTURE

It is important that each open space parcel, as it is developed, be carefully evaluated for soil preparation, drainage and tree and plant selection that can be adapted to the specific environmental conditions of East Baltimore.



Private Open Spaces for Residential Building along Eager Street (Concept Only)

Streetscape

STREETSCAPE DESIGN GOALS

The New East Baltimore Development will be known for its family of attractive and gracious tree-lined streets- from the busy north/south connectors of Wolfe and Washington; to a lively, community destination street along Ashland, to a gracious new residential street along Eager. People living within the community will find walkable community serving streets such as Rutland, Durham, and N. Chapel and McDonough. A series of local block to block alleys will break down the scale of large blocks, and take servicing and loading off key streets. Streetscape consists of all portions of the street-related areas other than carriage ways dedicated to vehicular traffic, parking, and loading.



Well-designed streets will promote pedestrian activity.

STREET TYPES

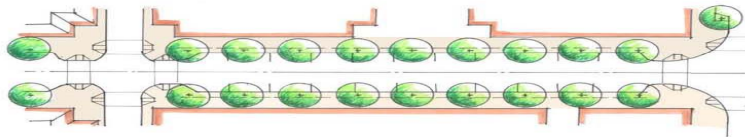
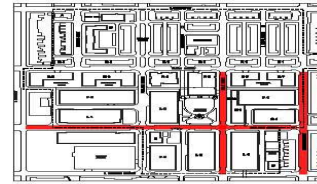
The streetscape environment for the New East Baltimore community will be one that allows for appropriate local and through vehicular travel while creating a pedestrian friendly experience for residents, workers and visitors. A minimum 5' clear way for pedestrians is provided on all sidewalks. At most intersections, "bump outs" are proposed which serve to calm traffic by creating the perception of a narrower street. This treatment also provides for safer pedestrian circulation by shortening street crossing distances. Streetscapes in the New East Baltimore Development have been defined through six (6) types of streets. The diagram on the next page illustrates the various types of streets. (Note: Final design and layout of all streetscapes are subject to site specific influences and utility constraints. All street types will have adequate and appropriate lighting)



New East Baltimore Community 17
Design Guidelines

The Mixed-Use Street

These streets include Ashland, Wolfe, and Washington Street. Given their location, these streets are expected to carry the greatest amount of vehicular and pedestrian traffic and will provide the most active links to and from the community. As such, they provide most desirable retail frontage and their streetscape must be designed to accommodate both pedestrian activities and allow for programs to spill out onto the sidewalk. Sidewalks are to be 15' including a 4 ft. wide minimum tree zone located directly behind the street curb to accommodate large deciduous street trees.



Mixed-Use Street plan

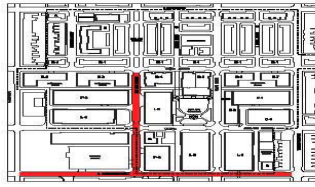


Section through typical Mixed-Use Street



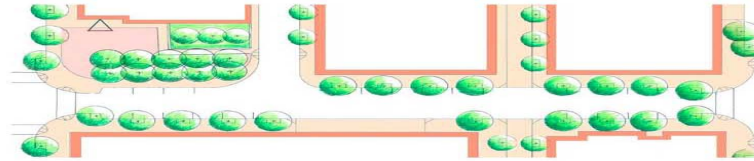
Streetscape design should encourage pedestrian use

18 STREETSCAPE



Public Connector Street

Rutland Street south of Eager and Madison Street will serve as Public Connector streets, respecting pedestrian access needs and supporting mixed use areas at key intersections, while providing ease of access to parking and loading areas. Sidewalks are to be 15' including a 4 ft. wide minimum tree zone located directly behind the street curb to accommodate large deciduous street trees.



Public Connector Street plan



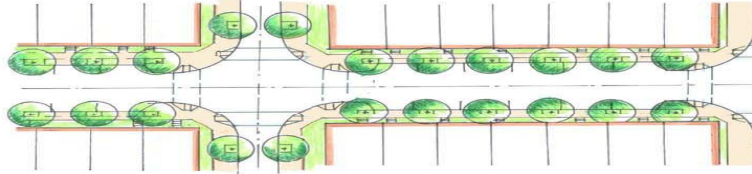
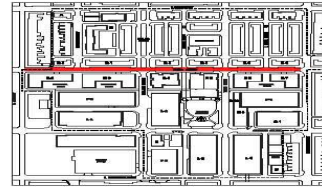
Streetscape design should accommodate both service and pedestrians



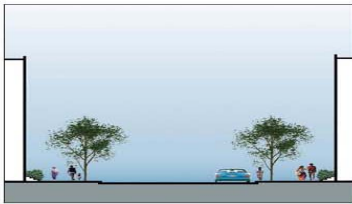
Section through Public Connector Street

Primary Neighborhood Through Street

This street includes Eager Street. Eager Street is an important neighborhood street that serves as a transition from the higher density housing to the south and the low-rise single-family housing to the north. Sidewalks are to be 15' including a 4 ft. wide minimum tree zone located directly behind the street curb to accommodate large deciduous street trees.



Primary Neighborhood Through Street plan

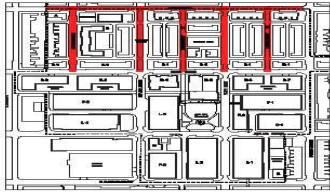


Section through Primary Neighborhood Through Street



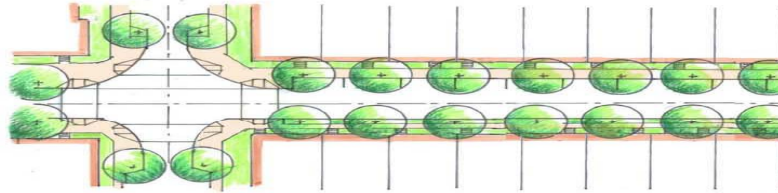
Front entries to residences is important to promote life on the street

20 STREETSCAPE

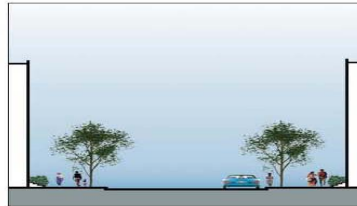


Typical Neighborhood Through Street

These streets are north of Eager and include McDonough, Rutland (north of Eager), N. Chapel, and Durham. These streets generally have varying sidewalk widths that include a 4 ft. wide minimum tree zone located directly behind the street curb to accommodate deciduous street trees. A minimum 5 ft. clear zone for pedestrians adjacent to the tree zone will be provided. The remaining dimension between the sidewalk and the buildings will be dedicated to front yards which will accommodate both front entry stoops and planting for the residential units.



Typical Neighborhood Through Street plan



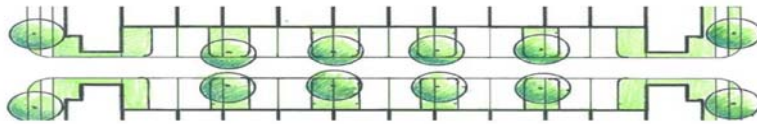
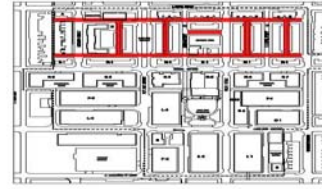
Section through Typical Neighborhood Through Street



Use of landscaping in the front setbacks strengthen the street character

Typical Neighborhood Alley

These alleys are north of Eager and serve to not only provide vehicular access to the residential buildings in this area, but are an essential component of the overall circulation network of the area. These are a minimum of 16 feet wide and connect to all single family residence parking drive-ways and garages. Landscape planting and trees lining the alley ways are encouraged.



Typical Neighborhood Alley plan

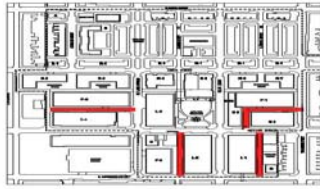


Section through Typical Neighborhood Alley



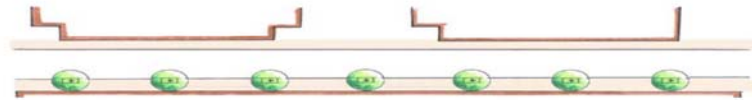
Design rear alleys to promote a friendly pedestrian character

22 STREETSCAPE



Service Alley

These alleys are south of Eager and serve to provide vehicular and service truck access to the various life sciences, residential, and other buildings within the area. Although primarily designed for service needs, these alleys connect to major streets and open spaces and will be designed to accommodate pedestrians through the incorporation of sidewalks and landscaping where appropriate.



Typical Service Alley plan



Section through Typical Service Alley



Design alleys to accommodate pedestrian activity and service

HORTICULTURE

It is important that a street tree planting and maintenance program be implemented and each parcel carefully evaluated for soil preparation, drainage and tree type selection that can be adapted to the specific environmental conditions of East Baltimore. The types of trees selected for the New East Baltimore Community, how they are planted and the subsurface conditions affecting root growth will profoundly impact the success of establishing a healthy stand of street trees.

- . • *Tree varieties should be selected that respond to the harsh growing conditions of the urban environment. Additionally, varieties should be selected that are appropriate for the scale of the space within which they will be located. For instance, broad, spreading trees may be appropriate for wide sidewalks and open spaces while more upright varieties may be more suited to narrow streets or alleys.*
- . • *The goal is to have the street trees as continuous and as close together as practical. Twenty to twenty-five foot spacing is desired and thirty feet is a maximum. Final tree placement will be subject to tree type, building entries and other special features, and utility locations; and final design approval by the Planning Commission.*
- . • *Tree pits should be a minimum of 4 ft. x 6 ft. (24 sq. ft.) with 4 ft. x 8 ft. preferred. The size of tree pits should be contingent on available sidewalk dimension and location of utilities.*
- . • *The ground plane treatment of tree pits may be accomplished in several ways including the use of tree grates, cobble stones or other paving materials. Tree pits may also remain as open, planted areas. This decision should be based on the volume of pedestrian activity anticipated on each street and the available sidewalk dimension.*
- . • *Paving adjacent to tree pits may be unit pavers, poured in place concrete or a combination of both.*
- . • *A continuous channel of amended structural soil is recommended to connect tree pits, for the purpose of providing a zone for healthy root development.*

New Building Design Guidelines

LIFE SCIENCE DESIGN GUIDELINES

RESIDENTIAL DESIGN GUIDELINES

LIFE SCIENCES DESIGN GUIDELINES

The East Baltimore Revitalization Plan integrates the life sciences into the neighborhood as a transition from the existing large-scale buildings of Johns Hopkins University Medical Campus to a small-scale residential fabric. The urban life sciences area is an essential component of the urban fabric and is connected to its context via pedestrian oriented streets, alleys and open spaces.

The objectives of the life sciences design guidelines are to:

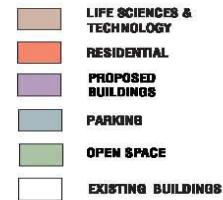
- . • Animate Ashland and Wolfe with pedestrian-friendly street-level activities as the primary address for the life sciences center.
- . • Reinforce the Ashland/ Wolfe intersection and the activity around the Ashland Common.
- . • Establish Wolfe as a major pedestrian connection to the Johns Hopkins Medical Campus.
- . • Create a transition from the institutional scale of the existing medical campus south of Madison to the life sciences programs north of Madison Street and at Ashland Commons and then to the residential scale north of Eager.
- . • Ensure that parking structures accommodate parking needs in the long term, with surface parking permitted during the initial phases of the plan.

Life sciences buildings will be occupied by a variety of tenants and users: research laboratories, lab support areas, clinical spaces, offices, lecture and conference spaces, computation laboratories and service areas. The organization of the major building elements will usually be related to the modular dimensions of research lab benches and adjacent support area. The space and infrastructure needs of life science tenants can be expected to change often which puts a premium on flexible layouts, openness, and access to utilities.

Building Form and Placement

The objective of the placement and form of the life sciences buildings is to create a series of related buildings integrated into the urban context with pedestrian-oriented streets that connect to the surrounding neighborhoods. It is not intended to be a secluded, independent campus, but one that is integrated and an extension of the existing Baltimore neighborhoods. The guidelines establish build-to streetwall lines to create street facades that define public space and to ensure that the streets are animated and safe.

- For all life sciences buildings (labeled L-1, L-2, L-3, L-4 and O-1 in diagram below) placed along Ashland, Ashland Common, Rutland, Wolfe, and Washington Avenues, buildings must hold the streetwall line that are set at a minimum of 15' from the curb to building.



Enlarged Plan for life sciences buildings

Building Height

In order to integrate the life sciences buildings into the neighborhood fabric, there should be created a transition in scale from larger institutional buildings south of Madison Street to the smaller and finer grain residential scale north of Eager. The various heights within the development are intended to create visual differentiation, scale, and increased densities around key streets and open spaces which will complement the existing city pattern and result in new, attractive elements as seen from nearby vantage points. Please refer to the height diagram below for the allowable heights.

- . • *Except specified herein, all building heights are to be measured in accordance with the Baltimore City Zoning Code.*
- . • *Except specified herein, all building heights will be measured in accordance with the Baltimore City Zoning Code. The “General Height Exemptions” allowed in the Baltimore City Zoning Code will be applicable to all buildings within the PUD area except :*

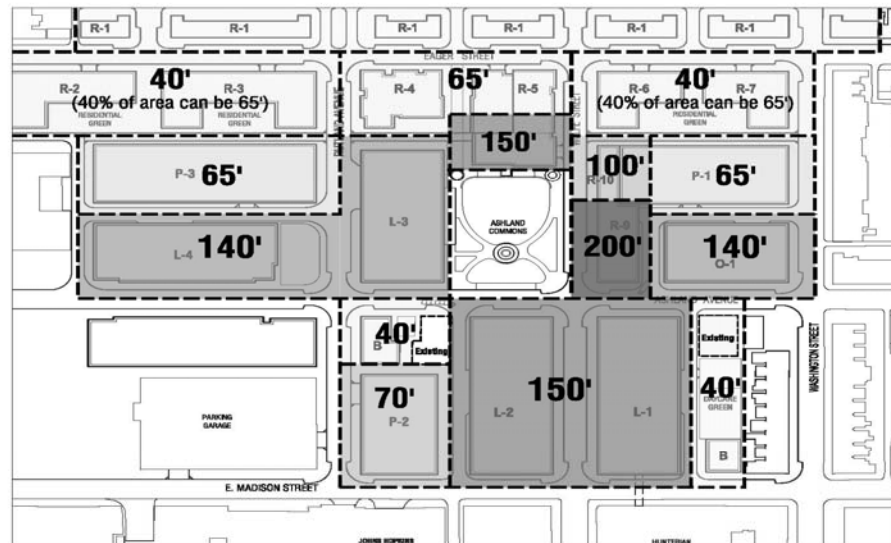
For those buildings labeled “L” and “O” on the proposed Development Master Plan in the PUD.

For those buildings labeled “L” and “O” on the proposed Development Master Plan in the PUD the following apply: antennae, stair towers, elevator enclosures, stacks and flues, and utility poles are allowed. They are limited to a maximum of 15 feet above the roof and may not occupy more than 10% of the roof area. Stacks and flues may extend above the 15 foot height limit if the height extension is required by the building code, for public health and safety matters, or for functional reasons.

- . • *Mechanical penthouses for all life sciences buildings shall not be included in the overall height and will be allowed for a height not exceeding 40’.*
- . • *Life Science uses shall have no height exemptions, except as specified above.*



Section illustrating various building heights around Ashland Common



Height Diagram (For the area south of Eager)*

*Note: Height diagram as approved in the New East Baltimore Community PUD will be the controlling height standard

Building Wall

These guidelines ensure that the main pedestrian-oriented streets are lined with buildings that have sufficient windows and active ground floor uses to create a safe, secure, human scale and animated streets. The street-level floor of life sciences and other non-residential buildings should be occupied by “active uses” whenever possible. These “active uses” include retail, restaurants, cafes and service-type businesses which activate the street with pedestrian traffic. The life sciences “building wall” shall reinforce the urban nature of the neighborhood while responding architecturally to adjacent public spaces and visual amenities. All major street frontage buildings shall, in their ground level street front façade and floor layout design, allow for potential retail uses. The guidelines require:

- *Ashland and Wolfe are pedestrian-oriented streets, should have active uses on the ground floor such as retail businesses, cafes, or offices with windows facing the street. Active uses are to be focused around the Ashland Common. At least 75% of the ground floor mixed-use street and Common frontage must contain active uses.*

- . • *Glass on the ground floor must be clear vision glass; no heavily tinted or highly mirrored glass is permitted.*
- . • *Upper floor must have street-facing windows to provide “eyes-on-the-street”. Heavily tinted or highly mirrored glass is prohibited.*
- . • *Buildings fronting on mixed-used streets and public open spaces are required to have their main entrance on one of those streets.*

New building design is also required to incorporate particular horizontal divisions within the vertical building wall. The particulars of these divisions are intended to relate to the scale and desired character of the various spaces and streets to which a building wall relates, as well as for its use and specific character. Each division will be distinguished from adjoining divisions. Building wall design shall adhere to the following guidelines:

- . • *A distinct base will be composed of the first floor or first two floors of the building.*
- . • *Each base will be designed to give the appearance of greater height than any other single floor.*
- . • *The middle/top will integrate the middle floors of the building with the large penthouses and equipment screens.*
- . • *It is encouraged that the rooftop elements such as mechanical penthouses and screen enclosures that characterize these buildings shall be compatible and integrate into the massing and exterior wall design of the rest of the building below in configuration, materials, coloration and surface design.*
- . • *It is also allowable that a third vertical division be developed for the top portion of the building. The architectural treatment of the top should be designed to create a sense of distinctly finishing the building. This architectural finish may be accomplished by change in the window rhythm, change in apparent floor height, setback, or use of alternate materials, or a combination of these elements.*
- . • *Distinctive corner and entry treatments may differ from the vertical divisions in order to enhance the building facades.*
- . • *The ground floor of buildings on major streets should be designed to accommodate signage in a manner that allows retail/restaurant tenants to achieve a distinct identity.*

Street Frontage

In order to ensure the vitality of street life in the development, the building wall along the streets must have a certain amount of transparency through the incorporation of doors and windows. Where feasible main building entrances will be located on Wolfe Street or Ashland Avenue or adjoining open spaces to help animate the major public ways and open spaces. Also encouraged at the ground floor of Life Science buildings are lobbies, display areas, conference spaces and office where interior uses would be visible from the sidewalk.



Active ground floor uses are essential to activate the street

Ashland Avenue/Ashland Common, Wolfe Street, Washington Street Frontage

- . • *Ground Floor: A minimum of 70% of the linear horizontal dimensions of the façade should be windows or doors. No heavily tinted or mirrored glass.*
- . • *Upper Floors: A minimum of 50-60% of the lineal horizontal dimension of the façade of each occupied floor should be windows or openings.*

Madison Street Frontage

- . • *Ground Floor: A minimum of 40% of the linear horizontal dimensions of the façade should be windows or doors. No heavily tinted or mirrored glass.*
- . • *Upper Floors: A minimum of 40-60% of the lineal horizontal dimension of the façade of each occupied floor should be windows or openings.*

Rutland Street (between Eager St. and Ashland) Frontage

- . • *Ground Floor: A minimum of 20% of the linear horizontal dimensions of the façade should be windows or doors. No heavily tinted or mirrored glass.*
- . • *Upper Floors: A minimum of 40-60% of the lineal horizontal dimension of the façade of each occupied floor should be windows or openings.*

Building Materials



The materials palette for building facades may include a variety of different cladding materials: granite, brick, limestone, other naturally occurring stone or cast stone of high architectural quality, glass curtain wall, metal, and pre-cast concrete or poured in place concrete of high architectural quality. In masonry-type walls, punched windows are encouraged and should have a distinct rhythm. Continuous ribbon windows are discouraged. Glass curtain walls may be used to appropriately distinguish Life Sciences Buildings, as well as provide transparency and a sense of openness.

Utilize a variety of materials

These guidelines are intended to outline objectives regarding the use of materials, relative scale, and creation of a human-scaled environment at the pedestrian level. They are not intended to impose a strict limitation on the architectonics of building form and style.

Curb Cuts and Servicing

In order to promote a lively urban character, it is essential to minimize the impact of parking garages entrances, service and loading areas on the pedestrian environment; and to provide an efficient and effective servicing environment to fulfill life sciences needs.

- *Loading and Servicing: Loading and servicing areas must be internal to the blocks and typically accessed through service alleys, and not through the pedestrian-oriented streets. No overhead service doors shall face Ashland Avenue, Wolfe Street, or Washington Street.*
- *All service docks will be internal to the building envelope, equipped with closable overhead doors. Bays will be dimensioned so that, during use, trucks (35 feet and less) will not project into the vehicular street space.*
- *Service alleys: Service alleys shall be screened from the pedestrian view as much as possible, with building facades and/or site walls with landscaping. Openings shall allow for the minimum vehicular cartway and shall be designed for pedestrian access where appropriate.*
- *No new curb cuts for loading and servicing will be added to Madison Street.*

Parking

It is important to minimize the impact of parking structures on the character of pedestrian spaces and the adjacent neighborhood, while providing sufficient and convenient parking for the life sciences and residential uses. In the long term, all parking shall be accommodated in parking structures.

Structured Parking

If visible from any street, the parking structure must respond to the urban context and adhere to the following guidelines:

- . • *The materials palette for parking garage facades may include a variety of different materials: granite, brick, masonry, limestone, other naturally occurring stone or cast stone, glass curtain wall, metal, and pre-cast concrete or poured in place concrete of high architectural quality.*
- . • *Lighting of parking structures: Lighting should be enough to provide adequate security, but should be screened, and controlled not to disturb surrounding residences.*
- . • *Openings: Garage facades should be designed with a modulated system of vertical openings and pilasters. False fronts pretending to enclose other uses are not encouraged. However, design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding structures is needed. As such, the size and pattern of openings is of particular concern and should be of a scale related to the systems of fenestration in the neighborhood. No continuous horizontal openings are allowed.*
- . • *Louvers and Grills: Openings should have some form of screening material to block views of cars on upper levels and to screen surrounding properties from garage lighting as it is usually brighter than adjacent buildings and street lights. Louvers for the upper floors and vertical grills for the ground floor are suggested. For public safety there should be a view into the garage at grade, but a combination of a low wall and/or landscaping should screen the bumpers, tires, and headlight of cars.*

Surface Parking

- . • *Surface parking will be allowed during construction and to accommodate phasing of garages and other structures. Any improvement, including paving, entry ways, and fencing as needed should recognize the temporary nature of the use while not distracting from the overall design quality of the new neighborhood.*
- . • *Such temporary service lots should be neatly finished, maintained, and appropriately lighted for safe usage by residents and workers. Where surface lots are adjacent to streets and sidewalks, attention should be paid to screen their edges with the use of landscape or fencing elements.*
- . • *Pervious paving materials should be considered for all or portions of temporary surface parking areas.*

Sustainability

The life science buildings should be designed to standards of sustainability that at least match minimum LEED certification. Particular strategies are explicitly encouraged:

- . • daylighting
- . • use of recycled material
- . • heat recovery
- . • grey water reuse
- . • solar control

- efficient building envelope design.

The life science buildings should take a leadership role in achieving sustainable design and celebrating its implementation.

Sign Guidelines

All new and replacement signs must follow guidelines.

- *All signs shall be designed to be compatible with the surrounding neighborhoods and with the signage system and templates developed for each individual building design.*
- *When existing signs are removed, any holes or other damage shall be patched and painted as necessary to match the existing wall surface, and all unused brackets and conduits shall be removed.*
- *All lighting and electrical elements such as wires, conduits, junction boxes, transformers, ballasts, switches and panel boxes must be concealed from view.*

Size/ Placement

- *The total area of signs for a building façade may not exceed 2 square feet per linear foot of building frontage. This total area includes window signs, awning signs, logos, product signs, temporary signs, or any other signage.*
- *Signs shall not be placed so as to obstruct windows, storefronts, or cornices.*
- *In no case shall a sign extend above the roof line.*
- *Any sign placed above the second floor of a building should be designed to be compatible with the scale and character of the surrounding neighborhood and will be subject to the approval of the City of Baltimore Planning Department.*

Flat signs

- *Flat signs shall be placed parallel to the building face and shall not project more than 12 inches from the surface of the building.*
- *Painted Signs and Cutout letters:*
 - *Painted signs on building surfaces or use of separate cutout letters shall be permitted in accordance with the above limits for flat signs.*
- *Projecting signs:*
 - *Projecting signs shall not be extended more than five feet beyond the building surface.*
 - *All signs shall be double-faced with a maximum thickness of 12 inches.*



RESIDENTIAL DESIGN GUIDELINES

The New East Baltimore Community Plan calls the creation of a stable and safe neighborhood with Baltimore-style architecture, street patterns, landscaping and public open space. This strategy proposes a mixed-use, mixed-income neighborhood that integrates new construction with renovation to provide a wide variety of housing types. It reinforces Broadway as a landscaped boulevard and establishes strong residential addresses. Most importantly, the East Baltimore Community Plan intends to preserve, celebrate and enhance the architectural, cultural and social history of Historic East Baltimore.

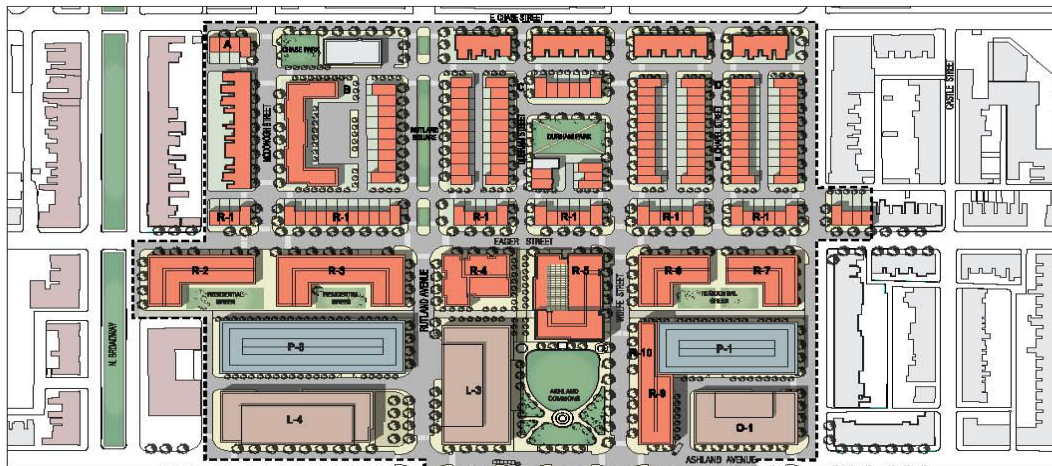
The creation of a marketable environment for a new residential development is based on the following principles:

- . • Buildings should enclose each block to enhance the urban character of the neighborhood and define street and other open spaces.
- . • Buildings must be designed to enhance the public realm, with emphasis on well-defined and properly oriented pedestrian entrances. Separate auto access to any interior parking should be provided through the neighborhood alleys.
- . • Multiple residential options should be provided through a variety of housing types including but not limited to apartment buildings, single family row houses, stacked flats and duplexes to invite diversity into the neighborhood.
- . • Diversity in scale and height should be sensitively used to realize a successful mix of residential and life sciences structures around a common open space at Ashland and as a transition to the lower-scale roughhouse character north of Eager Street.
- . • New buildings, although not necessarily traditional in style themselves, should be compatible with the traditional architectural character of the city.

- All public and private open spaces in the residential areas should be visible from active surrounding uses, designed to serve flexible activities of families, and encourage high quality maintenance. All public and private spaces must be defined, avoiding empty spaces where uses are unclear.

Building Form and Placement

- *Setbacks for the various residential buildings in the area north of Eager vary from zero to ten feet, depending on several factors and their location within the overall development. New houses immediately adjacent to existing units will match the setback line of existing buildings.*
- *There are no setbacks for the various residential buildings in the area south of Eager. All residential buildings are to face the street. Building R-5 should also be an edge for Ashland Common.*
- *A setback of 5 feet or more allows adequate spaces for an individual stoop, steps, and planting to soften the character of the streets. With a setback of 10 feet, porches, porticos, canopies or similar structures may be provided.*
- *Mid to low rise residential buildings may have a simple massing with an articulated base, middle, and top.*
- *High rise residential buildings which are located in close proximity to the Life Science buildings may integrate the middle floors of the building with the top to screen roof top equipment.*
- *Roof top equipment should be shielded from street views with screening that is integral to the building facade and does not appear to be roof top screening.*



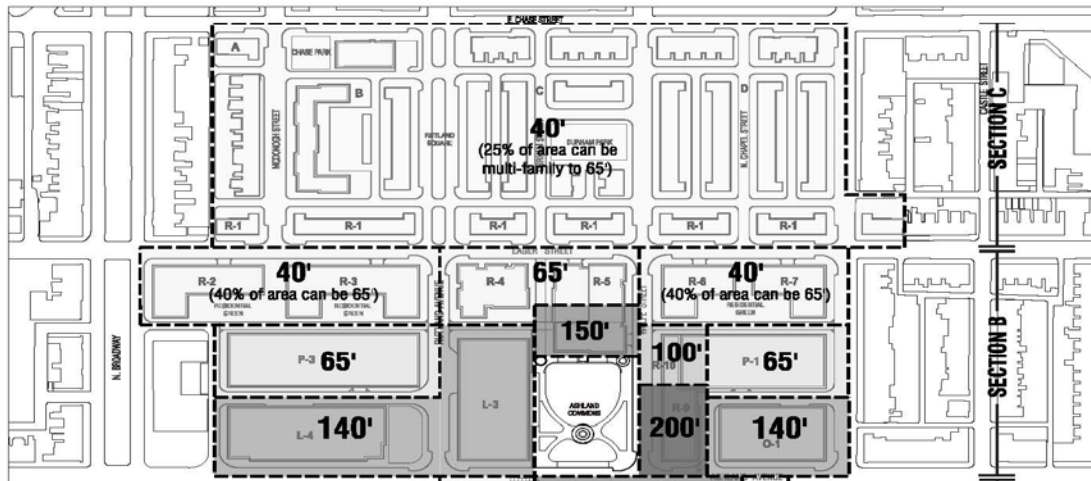
Enlarged Plan

38 NEW BUILDINGS

Building Height

It is important for the success of the plan to develop a variety of residential building types and associated heights. Between Chase and Eager row houses and flats should predominate with special attention to the design compatibility with rehabilitated historic row houses, and opportunities for integration of mid-rise apartments in a limited area. In the area South of Eager a mix of heights is encouraged with special attention to framing Ashland Commons with substantial residential buildings which work as an ensemble with the Life Science buildings.

- Except specified herein, all building heights are to be measured in accordance with the Baltimore City Zoning Code.
- Except specified herein, all residential building heights will be measured in accordance with the Baltimore City Zoning Code. The "General Height Exemptions" allowed in the Baltimore City Zoning Code will be applicable to all buildings within the PUD.
- Maximum allowable heights for all residential buildings are defined in the diagram below.
- The maximum height for all single-family houses is 40 feet.
- Roofs can be flat or sloped in traditional Baltimore styles or in compatible contemporary styles.



Height Diagram for Residential Buildings*

*Note: Height diagram as approved in the New East Baltimore Community PUD will be the controlling height standard

Building Wall and Street Frontage

Building wall guidelines ensure that streets are lined with buildings that have sufficient transparency with the incorporation of windows and doors to create a safe and animated public realm.

- *Front entry doors and lobbies should face the street or public open space. Front door entries should be made distinctive to enhance building facades.*
- *A minimum of 30% of the lineal horizontal dimension of the façade of each floor shall be windows or openings.*



Building entries are to relate to the street

- *Heavily tinted or mirrored glazing is not permitted.*
- *Recessed windows with mullions are encouraged to develop shadow lines.*
- *Openings: If a traditional style is followed for the design of a residential building, openings must be vertical in proportion and consistent with historic traditional styles.*
- *Use of special bays, boxes, and dormers are encouraged.*
- *Mid to high rise residential buildings should be distinctive and contemporary in their design, detail, pattern and materials while maintaining a pleasing compatibility with the surroundings.*

Building Materials

These guidelines are designed to ensure that new residential buildings will be integrated into the fabric of the historic neighborhood and contribute to the overall quality of the area.

- *Materials and Colors: Brick colors should be consistent with Baltimore traditions in a standard modular size and may vary from building to building to create variety. Facades interior to the block that are readily visible from the street may be stucco.*
- *Alternate exterior materials are acceptable as long as they are materials that are compatible with the urban context and have similar durability characteristics to standard modular clay brick. Materials such as wood clapboard and fiber cement board clapboard are permitted.*
- *Materials such as formstone, woodshakes, simulated woodshakes, plywood, aluminum siding, vinyl siding, asphalt shingles or similar materials is not permitted.*

Curb-cut and Servicing

- *All curb cuts shall be designed to minimize impact on the pedestrian environment.*
- *Servicing areas such as dumpsters must be internal to the blocks and accessed through alleys, and not thorough the neighborhood streets. Trash collection should be accommodated on alleys where possible.*
- *Alleys, providing rear access to single family duplex houses shall be screened from the pedestrian view as much as possible, with building facades and/or site walls and landscaping. Openings shall be limited to the vehicular cartway and minimum pedestrian access.*

Parking

- *For all residential units north of Eager Street, all off-street parking should be accessed from rear alleys.*
- *For single family houses parking is encouraged to be accommodated on the property with the associated unit.*

Front, Side and Rear Yard Fencing

- *Front and side yard fencing: is recommended especially on corner lots adjacent to the sidewalk. These fences should be black metal pickets and shall not exceed 36 inches to 42 inches in height. Brick or stone piers are encouraged at 90-degree transitions and at street and sidewalk intersections. A brick or stone base can also be used in combination with the transparent metal pickets.*
- *Front yard railings at building entries should match fencing in material and color.*
- *Front and side yard fencing is recommended to extend between a building and an alley and garage and between adjacent buildings.*
- *Rear yard fencing facing an alley:*

Decorative privacy fencing

Decorative fencing for privacy or screening is permitted in rear yards to a maximum height of 72 inches. It may be opaque to a maximum height of 48 inches. The top 24 inches must incorporate a change in articulation and have a transparency of 30% or greater when facing public spaces. Acceptable materials include high quality wood, vinyl, plastic wood composite (i.e Trex) and masonry compatible with the architectural guidelines contained herein. Stockade fencing is not permitted.

Chain link fencing

Chain link fencing is permitted in rear yards to a maximum height of 48 inches. The chain link must be vinyl coated and of a dark color, such as black or dark green, to recede visually. Chain link fencing must include a top rail for support. Tension wires along the top of the fence are not permitted. Barbed-wire and razor-wire are not permitted.

- *Paint or stain colors for rear yard fencing should be compatible with the color of the building to which it is attached as well as with surrounding buildings and fences. Final approval of paint colors is subject to review by the City of Baltimore.*

Ancillary Structures

- .
 - *Ancillary structures, such as trash enclosures, are to be integrated into the landscape and screened from public view with shrubs, hedges, fences, walls or a combination of those elements. Trash enclosures and screening should blend in with the landscape and surrounding environment. Trash enclosures are not allowed in front or sideyards.*
- .
 - *Mechanical units: Air conditioning units and similar other mechanical equipment should also be screened from public view using similar methods.*
- .
 - *Mobility Impaired Ramps: When mobility impaired ramps are necessary, they should be attached to the back or side of a residence. Side ramps that are visible from the street should incorporate the same architectural vocabulary as front porches. Two sets of rails should be provided- a grab rail parallel to the ramp to assist the user and a level handrail to relate the addition to its context.*

Additions or garages

- *Additions and garages visible from any street must be designed to be compatible with the architecture of the existing residence through the same or similar incorporation of materials. Garages shall be accessed from rear alley*

RESIDENTIAL PROPERTY REHABILITATION

NON-RESIDENTIAL PROPERTY REHABILITATION

Rehabilitation Guidelines for Existing Buildings

REHABILITATION GUIDELINES FOR EXISTING RESIDENTIAL PROPERTY

East Baltimore's distinct architectural character should be upheld and strengthened in the revitalization of the neighborhood; the objective of the rehabilitation guidelines is to provide guidance in strengthening the historic legacy of the neighborhood while meeting market demands. In order to build on the architectural heritage of the neighborhood maintenance and restoration projects should strive to be compatible with their historic context.

Any major reconstruction of an existing building that substantially alters its plan or façade should follow the urban design guidelines stated herein under Chapter IV. New Building Guidelines.

The property rehabilitation guidelines apply to all residential properties designated for rehabilitation over and above the codes and ordinances of the city of Baltimore.

Exterior Walls

- *All exterior front and/or sidewalls that have not been wholly or partially resurfaced or built over should be repaired cleaned or painted in an acceptable manner.*

All painted walls should have loose materials removed and painted a single color except for trim (cornice, window frames, and doors) which may be another color. Patched walls should match the existing adjacent surfaces as to material, color, bond and jointing.

Any colors selected for the repainting of existing structures should be compatible with the surrounding neighborhood and is subject to review and approval by the City of Baltimore.

EXISTING BUILDINGS



Resurfacing

Resurfacing masonry with materials such as formstone, wood siding, woodshakes, simulated woodshakes, plywood, aluminum siding, vinyl siding, asphalt shingles or similar materials is not permitted.

Resurfacing existing woodframe construction with materials such as plywood, aluminum siding, vinyl siding, asphalt shingles or similar materials is not permitted. Materials such as wood clapboard and fiber cement board clapboard is permitted.

Brick & stone walls

Brick walls shall be re-pointed where necessary. Unpainted brick and stone walls should not be painted. Resurfacing of existing brick facades must be done in standard modular clay brick.

Formstone

Unpainted formstone may remain if it is in good existing condition and in need of minimal repair. Removal of damaged formstone to reveal and repair original brick is encouraged.

Masonry

Masonry walls (excluding brick or stone) should be painted or resurfaced. Resurfacing of masonry walls should follow the resurfacing guidelines listed above.

- Chimneys, elevator penthouses or any other auxiliary structures on the roofs shall be repaired and cleaned as required for rear and sidewalls. Any construction visible from the street or from other buildings shall be finished so as to be harmonious with other visible building walls.
- Chimneys should match the existing façade materials.
- Foundations must be patched with the same or like materials.
- Cleaning of masonry facades by means of chemical cleaning is allowed.

Windows and Doors

- All windows must be tight fitting and have sashes of proper size and design for their historic context. Sashes with rotten wood broken joints or broken or loose mullions and muntins shall be replaced.
- Replacement windows must use the entire existing opening. Wood is preferred as replacement material, vinyl is acceptable. Window frames must be recessed at least one inch from the brick façade. New storm windows are allowed.
- Selecting correct replacement windows is key to maintaining the architectural integrity of the neighborhood. Replacement windows should match the historic windows they are replacing in pattern, mullion and frame size.
- Existing masonry openings may not be enlarged except to accommodate contemporary door dimensions. If it is necessary to enlarge an opening, the entire masonry opening, door and transoms must be enlarged. The opening must be cut cleanly and finished as appropriate.
- Window and door openings in the front of the building shall not be filled or boarded.
- Enclosures or security grilles and screens should be as inconspicuous as possible and compatible with other elements of the façade. Solid or perforated metal security devices are not permitted. Chain link is not allowed as a security device at windows or doors.
- Dormer windows on roofs sloping toward the street shall be retained and repaired or replaced in an appropriate manner to preserve their original architectural design.
- Special windows, such as bays, boxes and dormers should be refurbished when possible, and when necessary replaced with quality facsimiles.
- Historic wood front doors may be replaced with steel doors, but should be compatible with the historic context. Both wood and metal doors should have panelized appearance. Glazing within door frames is encouraged.

Trim

- All structural and decorative elements shall be repaired or replaced in a workmanlike manner to match as closely as possible the existing materials and construction. All cornices shall be made structurally sound, and rotted or weakened portions shall be removed and repaired or replaced to match as closely as possible the existing cornice. All exposed wood shall be painted.
- Existing cornices that have been covered with aluminum or vinyl siding and are in good repair may remain. No new installation of siding to cover cornices will be acceptable. Damaged or worn cornices must be repaired or replaced with wood or specifically made molded trim.
- Unique trim on many homes in east Baltimore is difficult to replicate and should be preserved and restored when possible.

Lighting

- Residential lighting outside the public right-of-way should be the minimum required to provide

at least some illumination on all walks and porches. Decorative, dark colored lampposts, compatible with the architecture of the house, are encouraged on single-family lots. Similar porch lights or wall lanterns are encouraged on all buildings.

Front, Side and Rear Yard Fencing

- . • *Front and side yard fencing: is recommended especially on corner lots adjacent to the sidewalk. These fences should be black metal pickets and shall not exceed 36 inches to 42 inches in height. Brick or stone piers are encouraged at 90-degree transitions and at street and sidewalk intersections. A brick or stone base can also be used in combination with the transparent metal pickets.*
- . • *Front yard railings at building entries should match fencing in material and color.*
- . • *Front and side yard fencing is recommended to extend between a building and an alley and garage and between adjacent buildings.*



Use of appropriate fencing and landscaping

- *Rear yard fencing facing an alley:*

Decorative privacy fencing

Decorative fencing for privacy or screening is permitted in rear yards to a maximum height of 72 inches. It may be opaque to a maximum height of 48 inches. The top 24 inches must incorporate a change in articulation and have a transparency of 30% or greater when facing public spaces. Acceptable materials include high quality wood, vinyl, plastic wood composite (i.e Trex) and masonry compatible with the architectural guidelines contained herein. Stockade fencing is not permitted.

Chain link fencing

Chain link fencing is permitted in rear yards to a maximum height of 48 inches. The chain link must be vinyl coated and of a dark color, such as black or dark green, to recede visually. Chain link fencing must include a top rail for support. Tension wires along the top of the fence are not permitted. Barbed-wire and razor-wire are not permitted.

- *Paint or stain colors for rear yard fencing should be compatible with the color of the building to which it is attached as well as with surrounding buildings and fences. Final approval of paint colors is subject to review by the City of Baltimore.*

Ancillary Structures

- . • *Ancillary structures, such as trash enclosures, are to be integrated into the landscape and screened from public view with shrubs, hedges, fences, walls or a combination of those elements. Trash enclosures and screening should blend in with the landscape and surrounding environment. Trash enclosures are not allowed in front or sideyards.*
- . • *Mechanical units: Air conditioning units and similar other mechanical equipment should also be screened from public view using similar methods.*
- . • *Mobility Impaired Ramps: When mobility impaired ramps are necessary, they should be attached to the back or side of a residence. Side ramps that are visible from the street should incorporate the same architectural vocabulary as front porches. Two sets of rails should be provided- a grab rail parallel to the ramp to assist the user and a level handrail to relate the addition to its context.*

Additions or garages

- *Additions and garages visible from any street must be designed to be compatible with the architecture of the existing residence through the same or similar incorporation of materials. Garages shall be accessed from rear alleys.*

REHABILITATION GUIDELINES FOR EXISTING NON-RESIDENTIAL PROPERTY

East Baltimore's distinct architectural character extends beyond its homes to its businesses, institutions, and industrial buildings. This character should be upheld and strengthened in the revitalization of the neighborhood. The objective of the rehabilitation guidelines is to animate the streets of this traditionally mixed-use area. In order to build on the architectural heritage of the neighborhood, maintenance and restoration projects should strive to be compatible with their historic context.



Existing Police Building

The property rehabilitation guidelines apply to all non-residential properties designated for rehabilitation over and above the codes and ordinances of the City of Baltimore. In the non-residential rehabilitation, all the residential guidelines apply plus the following additional requirements.

Exterior walls

- *All exterior front and/or sidewalls that have not been wholly or partially resurfaced or built over should be repaired cleaned or painted in an acceptable manner.*

All painted walls should have loose materials removed and painted a single color except for trim (cornice, window frames, and doors) which may be another color. Patched walls should match the existing adjacent surfaces as to material, color, bond and jointing.

Any colors selected for the repainting of existing structures should be compatible with the surrounding neighborhood and is subject to review and approval by the City of Baltimore.

Resurfacing

Resurfacing masonry with materials such as formstone, wood siding, woodshakes, simulated woodshakes, plywood, aluminum siding, vinyl siding, asphalt shingles or similar materials is not permitted.

Resurfacing existing woodframe construction with materials such as plywood, aluminum siding, vinyl siding, asphalt shingles or similar materials is not permitted. Materials such as wood clapboard and fiber cement board clapboard is permitted.

Brick & stone walls

Brick walls shall be re-pointed where necessary. Unpainted brick walls should not be painted. Resurfacing of existing brick facades must be done in standard modular clay brick.

Formstone

Unpainted formstone may remain if it is in good existing condition and in need of minimal repair. Removal of damaged formstone to reveal and repair original brick is encouraged.

Masonry

Masonry walls should be painted or resurfaced. Resurfacing of masonry walls should follow the resurfacing guidelines listed above.

- . • *Awnings are permitted and should be designed to be compatible and harmonious with the architectural character of the existing buildings. Lettering on awnings is considered signage. See signage usage guidelines.*
- . • *Existing miscellaneous elements on facades visible from any street such as empty electrical or other conduits, unused sign brackets, etc., should be eliminated.*
- . • *Chimneys, elevator penthouses or any other auxiliary structures on the roofs shall be repaired and cleaned as required for rear and sidewalls. Any construction visible from the street or from other buildings shall be finished so as to be harmonious with the other visible building walls.*

Windows and doors

- . • *Windows not visible from the streets shall be kept properly repaired or with Fire Department approval, the openings may be properly closed to match the material, design and finish of the adjacent wall.*
- . • *A show window as a part of the building façade shall be defined to include the building face and the entrance area leading to the door, the door and sidelights and transom and all display platforms and devices including lighting and signing designed to be viewed from the public right-of-way and/or the areas visible to the public prior to the entering the interior portion of the structure. Show windows and entrances shall be designed to be compatible and harmonious and consistent with the scale and character of the existing structures.*
- . • *Security grilles and screens shall be designed to be compatible and harmonious and consistent with the scale and character of the existing structures. Enclosures and housing for security grilles and screens should be as inconspicuous as possible and compatible with other elements of the façade. All new and existing screens and grilles visible from the streets must be constructed so they can be opened or removed. Such screens visible from the streets must be constructed so they can be opened or removed. Such screens and grilles shall be opened or*

removed during normal operating hours of the business. Chain link is not allowed as a security device at windows or doors.

- . • Windows should not be heavily tinted or mirrored.
- . • Solid or permanently enclosed or covered store fronts should not be permitted, unless treated as an integral part of the building façade using wall materials and window detailing compatible with the upper floors.
- . • All damaged, sagging, or otherwise deteriorated storefronts, show windows or entrances shall be repaired when possible. If restoration is not feasible replacements shall be designed to be complementary and harmonious with the architectural character of the building.
- . • Dormer windows on roofs sloping toward a shopping street shall be treated in accordance with the same criteria as building fronts.

Front, Side and Rear Yards

- . • Front and side yard fencing: is recommended especially on corner lots adjacent to the sidewalk. These fences should be black metal pickets and shall not exceed 36 inches to 42 inches in height. Brick or stone piers are encouraged at 90-degree transitions and at street and sidewalk intersections. A brick or stone base can also be used in combination with the transparent metal pickets.
- . • Front yard railings at building entries should match fencing in material and color.
- . • Where a rear yard exists or is created through the demolition of structures, the rear yard should be enclosed along the sides and rear property line by decorative privacy fencing:

Decorative Privacy fencing

Decorative privacy fencing is required in rear yards to a maximum height of 72 inches. It may be opaque to a maximum height of 48 inches. The top 24 inches must incorporate a change in articulation and have a transparency of 30% or greater when facing public spaces. Acceptable materials include high quality wood, vinyl, plastic wood composite (i.e Trex) and masonry compatible with the architectural guidelines contained herein. Stockade fencing is not permitted.

Chain link fencing

Chain link fencing is permitted in rear yards to a maximum height of 48 inches. The chain link must be vinyl coated and of a dark color, such as black or dark green, to recede visually. Chain link fencing must include a top rail for support. Tension wires along the top of the fence are not permitted. Barbed-wire and razor-wire are not permitted.

Ancillary Structures

- . • *Ancillary structures such as trash enclosures are to be integrated into the landscape and screened from public view with shrubs, hedges, fences and walls or a combination of these elements. Trash enclosures and screening must blend in with the landscape and surrounding environment.*
- . • *Mechanical units: Air conditioning units and other similar mechanical equipment should also be screened from public view using similar methods.*
- . • *Any mechanical equipment placed on a roof should be located as to be hidden from view from the streets and to be as inconspicuous as possible from other viewpoints. Equipment shall be screened with suitable elements of a permanent nature and finished so as to harmonize with the rest of the building. Where such screening is impossible or impractical, equipment shall be installed in a neat presentable manner and shall be painted in such a manner as to minimize its visibility.*
- . • *Roofs shall be kept free of trash, debris, or any other elements that is not a permanent part of the building or a functioning element of its mechanical or electrical system.*

Additions/ Garages

- . • *Additions and garages visible from any street must be designed to be compatible with the architecture of the existing building. Garages should be accessed from rear alleys.*

Parking/ Servicing

- . • *All parking and servicing shall be accessed from rear alleys.*
- . • *No service doors shall face any streets or parks.*

Forest City-New East Baltimore Partnership LLC.

Prepared by:

SMWM

Elkus / Manfredi Architects Ltd.

Marks, Thomas and Associates, Inc.

Mahan Rykiel Associates, Inc.

STV Inc.

Appendix F

Project Area Description

The East Baltimore Development Project Area is approximately eighty (80) acres in size and is roughly bounded by North Broadway (west), North Patterson Park Avenue (east), East Madison Street (south), and the Amtrak rail tracks (north). Provided below is a map that outlines the site in detail.

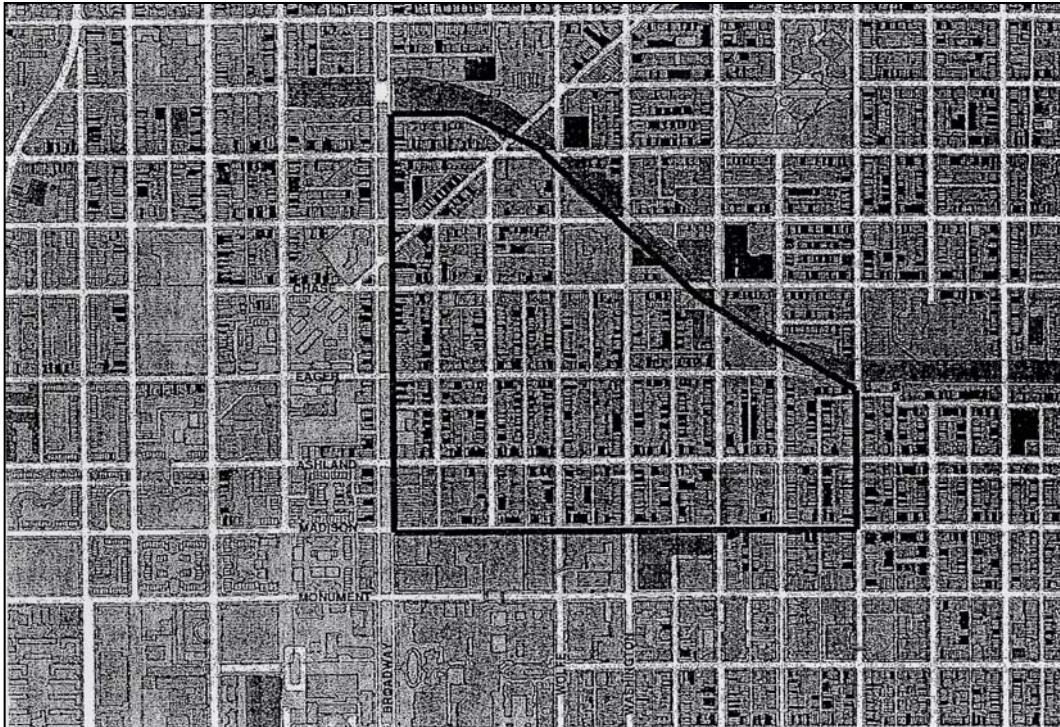


EXHIBIT 1: LAND USE PLAN



EXHIBIT 2: PROPERTY ACQUISITION



EXHIBIT 3: LAND DISPOSITION

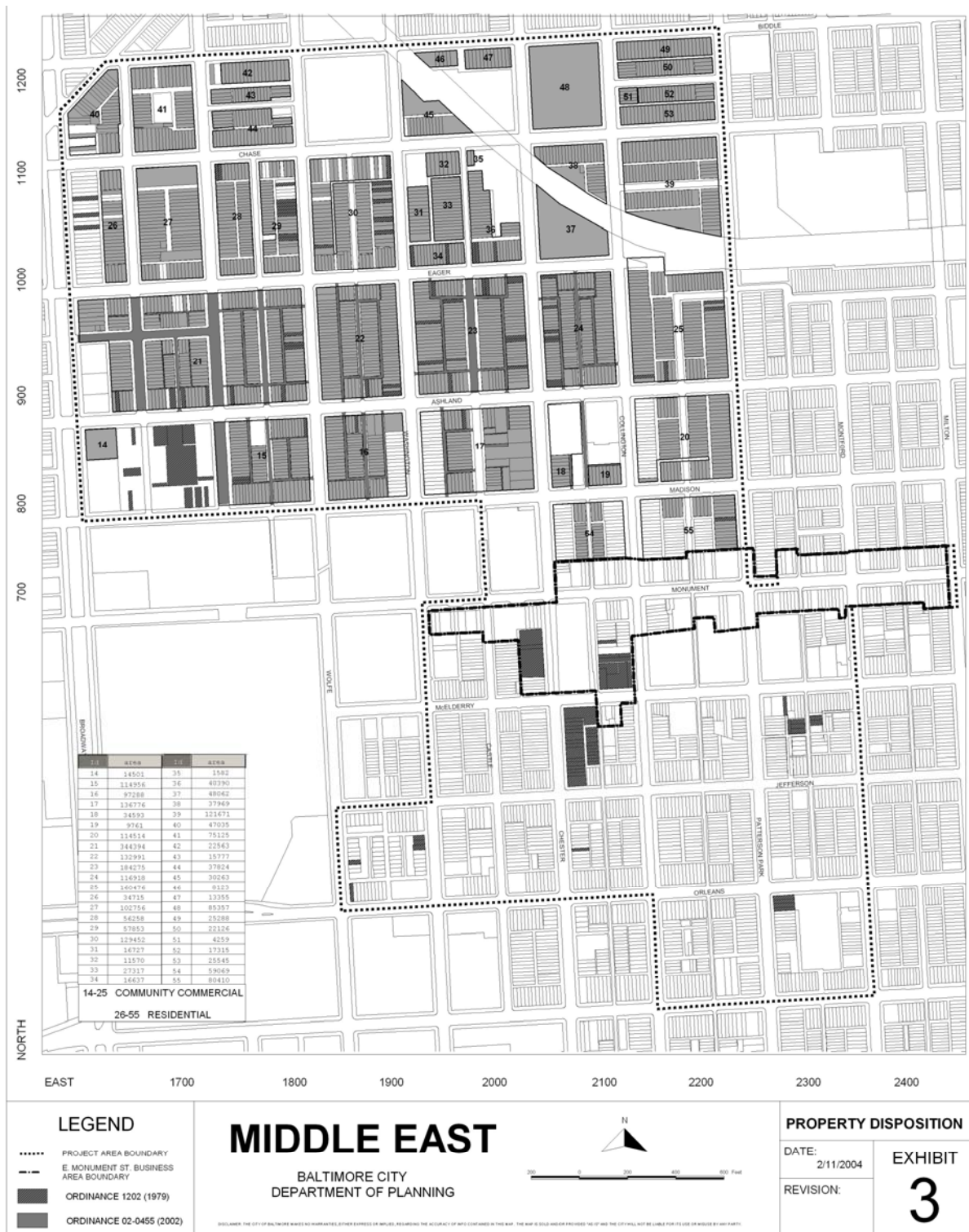


EXHIBIT 4: ZONING DISTRICTS

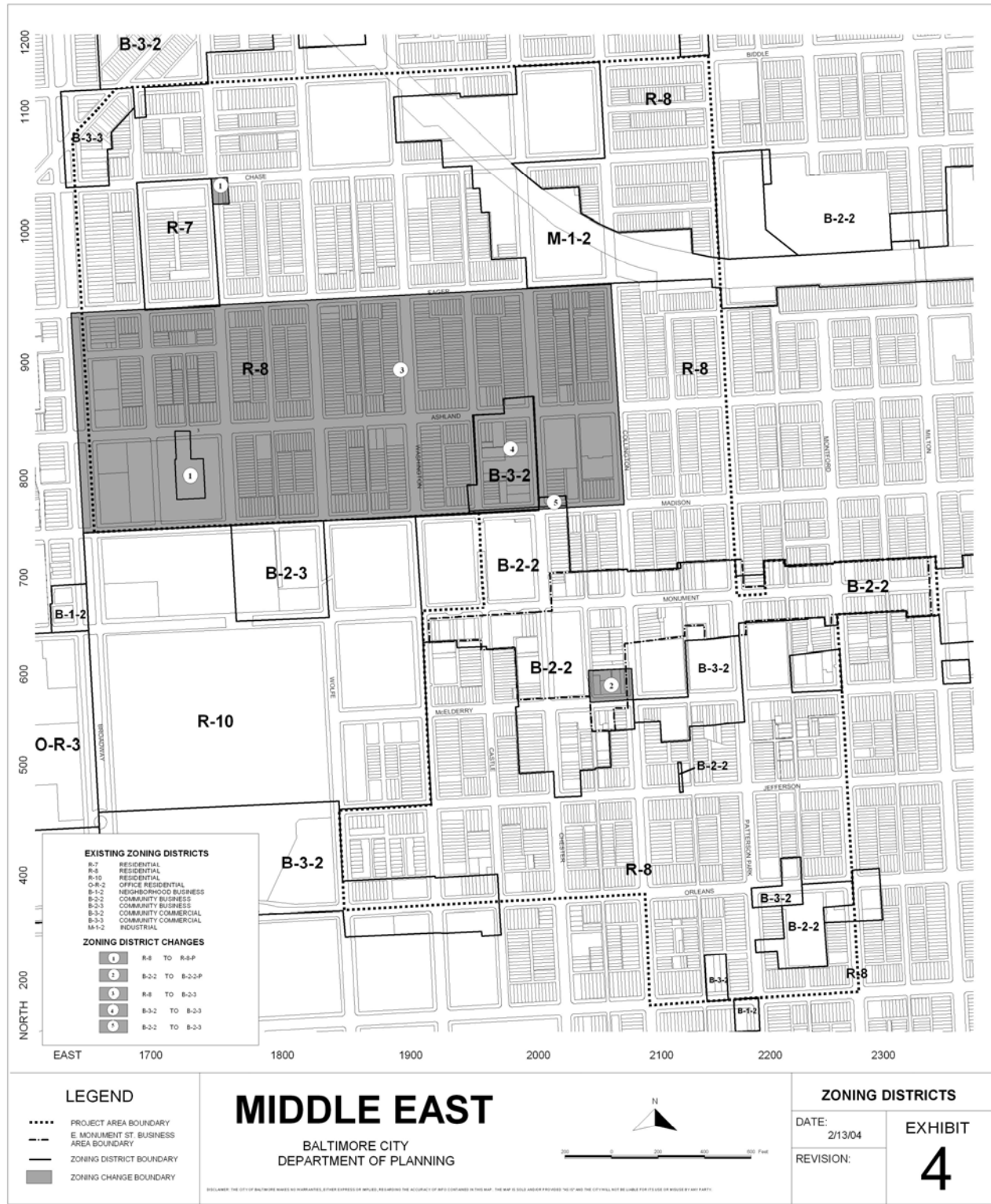


EXHIBIT 5:

UNANIMOUS WRITTEN CONSENT OF THE BOARD OF DIRECTORS OF
EAST BALTIMORE DEVELOPMENT, INC. ("EBDI")

November 8, 2002

The undersigned, being all the Directors of EBDI, a Maryland non-stock corporation, in accordance with Sections 2-408(c) of the Corporations and Associations Article of the Annotated Code of Maryland, do hereby jointly take the actions set forth in lieu of holding a formal meeting of the Directors, and to evidence their waiver of any right to dissent from such actions, do hereby consent as follows effective as of the date noted above:

WHEREAS, EBDI was organized for the purpose of, among other things, coordinating and implementing the development and integration of a state-of-the-art, scientific, high technology, research and business biotech facility and incubator park north of the Johns Hopkins Medical Campus in the City of Baltimore as part of a comprehensive physical redevelopment and community reinvestment plan to preserve, improve, revitalize and rebuild the urban infrastructure and quality of life for the residential and business communities of East Baltimore (the "Project"); and

WHEREAS, one of the tasks of EBDI is to assist the City, including the Department of Housing and Community Development, in administering community relocation benefits for the Project, which will enable eligible residents in affected neighborhoods whose properties have been acquired for the proposed redevelopment to relocate to comparable housing through disbursement of public and private relocation funds, rental vouchers and moving expenses, and to provide relocation services and counseling attendant thereto, all with the objective of improving quality of life, improving living conditions, and increasing economic and social opportunities for families affected by relocation; and

WHEREAS, in furtherance of the preceding recitals, EBDI is developing a relocation plan (the "Relocation Plan") which is designed to provide residents in the Project area with a clear and concise description of the relocation benefits available, benefit eligibility requirements, the timing of various activities associated with the relocation program, the availability of counseling and advocacy services, and other critical information necessary for affected individuals, families and businesses to make timely and informed decisions regarding relocation; and

WHEREAS, it is EBDI's desire that the purposes and principals espoused herein and incorporated in the Relocation Plan be reduced to writing and adopted in a resolution by the Board of Directors of EBDI, to be used as a guide by EBDI in the implementation of the Relocation Plan, to build greater trust between EBDI and residents of the Project area, and to provide a measure of accountability with respect to EBDI's activities, and that such resolution be made available to members of the community affected by the Project and the public at-large.

NOW THEREFORE, BE IT RESOLVED: that EBDI shall coordinate and implement the Relocation Plan in a manner which seeks out and incorporates the views and preferences of community residents, provides families and individuals with a genuine choice of quality, appropriate and healthy relocation options and offers such options at the same time that relocation offers are presented, ensures that the vast majority of families and individuals will not be involuntarily required to relocate multiple times, ensures that young children's education is minimally disrupted by the relocation process, provides individuals and families with transitional counseling both before and after their relocation, helps families and individuals avoid predatory lending practices and support efforts that prevent such practices from taking place, ensures that all individuals and families have access to objective information about services, organizations, and resources in their new neighborhoods, and ensures that families relocating to communities other than East Baltimore receive help in acclimating to their new neighborhoods; and

FURTHER RESOLVED, that EBDI shall endeavor to disseminate core information about the relocation initiative and its implementation in a manner that is clear, concise and understandable to the affected residents. The Relocation Plan shall specify, for example, when the relocation process shall begin, the timing of relocation phases, the amount of time families will have to assess information, consider their options and make decisions, the availability of new and renovated housing in the Project area, and the logistics of physical relocation. The Plan shall also address such issues as the benefits available under the Plan (including the availability of supplemental benefits to owners and renters within the Project area who owned or rented their residence at the time of the introduction of the most recent bills amending the Urban Renewal Plans for the affected neighborhoods), geographic restrictions (if any), considerations for the elderly and other populations with special circumstances, homeowners who become interim renters, relocated families who choose to move back to the Project area, adapting benefits for owners who have paid off mortgages, defining eligibility requirements for owners and renters, and supporting rent-to-own initiatives; and

FURTHER RESOLVED, that EBDI shall not proceed with involuntary, occupied property acquisition or resident relocation until the Relocation Plan has been formalized following legal and community review and adoption by the Board of Directors of EBDI by special majority vote; and

FURTHER RESOLVED, that EBDI shall develop a comprehensive database in order to assist in the implementation of the Relocation Plan, which is based on quantitative and qualitative data concerning the affected communities and its (*sic!*) residents. The database shall include, at a minimum, information about the number of families and others affected by their relocation, their demographics, and relevant family circumstances. The database shall also include information about the physical characteristics of existing housing opportunities, including the amount and condition of available housing, and a current and complete profile of newly constructed and recently rehabbed housing, as well as the availability of necessary neighborhood family support services. The database shall also include qualitative information that provides insight into issues such as family housing preferences, resident's knowledge about the relocation program, and particular concerns and circumstances that may influence the direction of the Relocation Plan. From this comprehensive database, family and neighborhood profiles should be created in order to help EBDI and others involved in the implementation of the Relocation Plan understand, anticipate and predict family needs, issues and desires; and

FURTHER RESOLVED, that EBDI shall assure the provision of counselors who can provide families with advice and assistance concerning a variety of issues likely to arise during the relocation process. This counseling, which shall be provided free of charge, shall include such areas as financial advice (e.g., purchasing and selling homes, real estate appraisals, mortgage lending, repairing credit, etc.), health and personal counseling (e.g., special assistance to the elderly and other segments of the population with specialized needs), legal counseling (e.g., title searches, deed transfers, avoiding predatory lending practices, etc.) and professional relocation counseling (moving logistics, moving contracts, etc.). EBDI shall work with local community groups and residents to locate and retain the services of qualified counseling and advocacy entities capable of providing these services; and

FURTHER RESOLVED, that EBDI shall create a centralized comprehensive human development agenda to help resident families access a range of strengthened economic, social, educational and family supports that can help ensure that they will become measurably better off as a result of the relocation and neighborhood revitalization effort. The components and objectives of the human development agenda shall address, at a minimum, job training and placement, income security and asset development, education, health and child care. EBDI shall also work with community residents to identify an organization with the credibility and capacity to engage the necessary partners (including family service providers and agencies currently serving East Baltimore) and through the establishment of a local resource center, coordinate the information and resources necessary to implement the human development agenda.

IN WITNESS WHEREOF, we have hereunto set our hand on the date set forth above.

/s/
Stanford R. Britt

/s/
Earl Linehan

/s/
Dr. William R. Brody

/s/
Sally MacConnell

/s/
Eddie C. Brown

/s/
Kieyasien Moore, Esquire

Gene Lynch

/s/
Douglas W. Nelson

/s/
Joseph P. Haskins

/s/
Jacques R. Rubin

/s/
Richard C. Lewin

EXHIBIT 6:

UNANIMOUS WRITTEN CONSENT OF THE BOARD OF DIRECTORS OF
EAST BALTIMORE DEVELOPMENT, INC. ("EBDI")

November 8, 2002

The undersigned, being all the Directors of EBDI, a Maryland non-stock corporation, in accordance with Sections 2-408(c) of the Corporations and Associations Article of the Annotated Code of Maryland, do hereby jointly take the actions set forth in lieu of holding a formal meeting of the Directors, and to evidence their waiver of any right to dissent from such actions, do hereby consent as follows effective as of the date noted above:

WHEREAS, under its charter filed and recorded with the Maryland State Department of Assessments and Taxation on September 5, 2002 (the "Charter"), EBDI has been formed and organized as a tax-exempt Maryland non-stock corporation. All capitalized terms used and not otherwise defined shall have the meanings assigned under the Charter; and

WHEREAS, under its Charter, EBDI is committed to target, secure, allocate and regulate investments in and resources made available for the Project, whether public or private, to insure the maximum practical utilization of minority and women-owned businesses with direct ties to the Renewal Areas in terms of residency or employment opportunities (collectively "eligible business concerns" or "EBCs"), as a means to fulfill the objectives and to comply with its continuing obligations under the Inclusion Agreement (the "EBC Initiative"); and

WHEREAS, the Board believes that EBCs certified under the Minority Business Enterprise Program of the Maryland Department of Transportation, pursuant to Title 14, Subtitle 3 of the State Finance and Procurement Article of the Annotated Code of Maryland, and 49 Code of Federal Regulations Part 26, should be included as eligible to bid and participate as local EBCs; and

WHEREAS, the Board desires to establish a program that defines and targets business initiatives that locate operations in and substantially employ residents from the Renewal Areas; and

WHEREAS, the Board desires to establish a program that defines and targets prime contractor and large business initiatives to enhance the competitive viability of EBCs; and

WHEREAS, the Board takes notice that the "bundling" or combination of contracts and other procurement devices may be used to evade or minimize compliance with the EBC Initiative; and

WHEREAS, the Board believes it necessary to establish a standing committee to advise the Board and to clarify and further the means by which EBDI shall fulfill and comply with the EBC Initiative and its continuing obligations under the Inclusion Agreement.

NOW THEREFORE, BE IT RESOLVED:

SECTION 1: The Board hereby adopts the following as its policy with regard to the EBC Initiative:

A. Business Development and Procurement Committee, EBC Utilization Plan and Certification:

1. Business Development and Procurement Committee. The Board hereby establishes, as a standing committee of the Board, the Business Development and Procurement Committee to review and make recommendations to the Board on (a) best practices for maximizing EC opportunities in furtherance of the EBC Initiative, (b) each request for proposals (including, without limitation, any unsolicited bid, offer or contracting opportunity, collectively “RFPs”) prior to issuance by or on behalf of EBDI so as to assure compliance with the EBC Initiative, (c) each submission resulting from an RFP so as to evaluate the response of the applicant to the EBC Initiative, (d) the means and methods to finance and make distributions from the community reinvestment program and similar initiatives undertaken in furtherance of the EBC Initiative, and (e) potential EBC concerns, CDCs, and other community oriented programs and partners or firms to further the EBC Initiative. The membership of the Business Development and Procurement Committee shall be appointed by the Board, upon recommendation of the Chairman of the Board, provided that the committee shall include a member of the Board that has been selected as noted in the Charter to represent constituents in the Renewal Areas. The Board recognizes the need to include in its budget funds for staff to implement and accomplish the EBC Initiative.

2. EBC Utilization Plan Required. Guided by Applicable Laws and the recommendation of the Business Development and Procurement Committee, EBDI shall, subject to Board approval, establish procedures by which the EBC Initiative will be achieved. These procedures shall include, without limitation, the requirement of the inclusion of an EBC Utilization Plan in response to all RFPs that are issued by or on behalf of EBDI for development of any portion of the Project or Project Area or for the provision of goods and services. Each responding entity to an RFP must include in their Response an EBC Utilization Plan that describes in detail how the applicant intends to satisfy the EBC Initiative in form and substance acceptable to EBDI. EBDI shall evaluate each applicant and make an award based in part on an evaluation of the applicant’s EBC Utilization Plan with due consideration for the recommendations of the Business Development and Procurement Committee.

3. Certification. EBDI may consider a business enterprise certified either by the City under Article 5, Subtitle 28 of the Baltimore City Code, codified as the “Minority and Women’s Business Program” (as amended, modified or replaced, the “MBP Act”) or under the Minority Business Enterprise Program of the Maryland Department of Transportation pursuant to Title 14, Subtitle 3 of the State Finance and Procurement Article of the Annotated Code of Maryland, or in accordance with 49 Code of Federal Regulations Part 26, in accordance with the EBC Initiative.

B. Community Reinvestment and Financial Assistance:

1. Community Reinvestment. Subject to Board approval, EBDI shall establish procedures and dedicate resources by which the community reinvestment obligations under the Inclusion Agreement are achieved, with due consideration for the recommendations of the Business Development and Procurement Committee. The Finance Committee and the Business Development and Procurement Committee will prepare and recommend joint guidelines for approval by the Board to determine the means and methods by which the community reinvestment obligations under the Inclusion Agreement are met both generally and on a transactional level.

2. Assistance to EBC Concerns. Subject to Board approval, EBDI shall establish goals and procedures to dedicate resources by which loans and other financial accommodations or assistance can be provided to EBC concerns in furtherance of the EBC Initiative, with due consideration for the recommendations of the Business Development and Procurement Committee. Among the initiatives to be considered are programs undertaken or promoted by EBDI that target EBCs or community development initiatives contemplated under the Charter or the Inclusion Agreement.

C. Policy Guidelines, Compliance and Reports:

1. Policy Guidelines. Subject to Board approval, EBDI shall establish guidelines and procedures by which each Project Area targeted for land use, investment and development and each contract award furthers the EBC Initiative, with due consideration for the recommendations of the Business Development and Procurement Committee. The Business Development and Procurement Committee recommendations may address the means and methods by which the implementation of such guidelines and procedures are achieved and measured.

2. Compliance. The Board recognizes that the “bundling” or combination of contracts can be used to evade or minimize compliance with the EBC Initiative. Subject to Board approval, EBDI shall establish guidelines and procedures by which evasion of the EBC Initiative can be minimized, with due consideration for the recommendations of the Business Development and Procurement Committee. To maximize EBC opportunities in furtherance of the EBC Initiative, the Business Development and Procurement Committee should consider: (a) firms that locate in and employ a significant percentage of their employees from within areas impacted by the Project or similarly distressed communities in the City of Baltimore, (b) the creation of “mentor-protégé” relationships between EBC and non-EBC firms, and (c) subcontracting arrangements.

3. Reports. EBDI will require any developers or redevelopers of property in each Project Area, and will itself, regularly report to the City and to the community at large on the degree to which the objectives of the EBC Initiative are being achieved.

SECTION 2: Subject to Board approval, EBDI shall, in conjunction with the development of a Master Plan for the Project Area, and in the course of negotiating agreements with the City and redevelopers of properties in each Project Area, establish more specific goals and objectives, in furtherance of the EBC Initiative, with due consideration for the recommendations of the Business Development and Procurement Committee.

SECTION 3: The Board confirms that the EBC Initiative furthers its exempt purposes and is to be the policy of EBDI, notwithstanding any decisions by a court of law or the City on the content or applicability of the MBP Act. The Board shall not avoid or seek to avoid the observance or performance of these resolutions, and will at all times in good faith use its best judgment in the carrying out of these resolutions and in the taking of all such actions as may be necessary or appropriate in order to further the EBC Initiative.

IN WITNESS WHEREOF, we have hereunto set our hand on the date set forth above.

/s/
Stanford R. Britt

/s/
Earl Linehan

/s/
Dr. William R. Brody

/s/
Sally MacConnell

/s/
Eddie C. Brown

/s/
Kieyasien Moore, Esquire

Gene Lynch

/s/
Douglas W. Nelson

/s/
Joseph P. Haskins

/s/
Jacques R. Rubin

/s/
Richard C. Lewin

EXHIBIT 7:

AGREEMENT FOR MINORITY INCLUSION IN THE EAST BALTIMORE HOUSING/ BIOTECH PARK DEVELOPMENT PROJECT

Preamble

An unparalleled revitalization opportunity exists for East Baltimore. The neighborhoods surrounding one of the foremost medical institutions in the world – Johns Hopkins Hospital – have experienced a sharp decline in population over the past 20 years, resulting in significant blight and vacancy. Yet, there are residents there who have lived in the community for a long time and have contributed great value to the city. This kind of decline needs intervention, but a new approach to intervention. The East Baltimore Development has enormous opportunity for Baltimore City. We have developed a plan that builds on strengths – the history of East Baltimore as a first-class neighborhood and the reputation of Johns Hopkins as a world-renowned institution – and is bold and market-driven; more so than any other previous revitalization project. The East Baltimore Development will provide up to 2 million square feet of biotechnology space and not just create 8,000 new jobs, but careers for residents of East Baltimore and the entire City. There will be employment opportunities for a range of skill levels: one-third for high school graduates, one-third for college graduates and one-third for post-graduates. Along with this commercial development, there will be up to 2,000 new and rehabilitated housing units created – low income, market rate and affordable housing, for rental and homeownership. The relocation plan will be a fair one with the objective of improving quality of life and providing opportunities for families to improve their living conditions. With this site as the epicenter for biotech commercial development, our biotechnology communities in the biomedical, environmental, marine biology, and agricultural sciences will coalesce into a cohesive industry. Due to Baltimore’s unique and diverse intellectual, commercial, and community assets, we are far better positioned than any other city in the country for a successful venture of this magnitude.

While during this decade, Mayor O’Malley penned the first inclusion commitment ever in Baltimore, given the magnitude of this project, the East Baltimore Development commitment to inclusion will extend even further in its reach. Throughout the prior decades, one, perhaps two, revitalization initiatives of this magnitude have occurred in Baltimore’s history (Inner Harbor and Charles Center). There is one critical element that will differentiate the East Baltimore Development from previous large-scale developments: inclusiveness. Strengthening partnerships is critical to realizing this opportunity. Johns Hopkins has agreed to join hands with its neighbors, Morgan State University, and the city to create opportunity for all.

The Inclusion Commitment

Overall Development

Objective: To dramatically increase contracting and procurement dollars spent with minority businesses in all aspects of the East Baltimore Development project, as well as spur greater involvement of minority businesses in identified growth sectors of the City’s economy, including but not limited to retail, technology, and real estate development; and to dramatically increase the number, magnitude and success rate of minority businesses in Baltimore City, at all levels of the Development Project. To that end, the City will ensure that:

- For all development Request for Proposals (“RFPs”), developers must commit in writing to meeting the requirements of Ordinance #211 and the Mayor’s Executive Order during the pre-development and construction phases of the project, which are both incorporated by reference in this document.

- All major documents and RFPs associated with East Baltimore Development, Inc. (hereinafter referred to as “EBDI”, including any of its successor organizations or entities or assignees or subsidiaries) or the East Baltimore Incubator (hereinafter referred to as “EBI”, including any of its successor organizations or entities or assignees or subsidiaries), including, but not limited to, urban renewal amendments, articles of incorporation, organizational mission statement, by-laws, and real estate property disposition agreements, sale agreements, lease agreements, and development agreements shall include a commitment to diversity and the utilization of minority-owned firms at all levels, consistent with this document.

Equity Ownership

Objective: To increase existing opportunities for minority equity participation including real estate development and expanding start up businesses.

- For any projects proposed by developers that receive public assistance including, but not limited to, buying land below market-value, receiving direct financial assistance, PILOTs, TIFs, or other forms of tax credits, with all other things being equal, the development project proposal with the most minority participation will be given favorable consideration.
- The City shall strongly encourage that developers receiving public assistance make “shares” available to minority investors, with return provided to investors commensurate with their risk.
- The Director of Minority Business Development, the Baltimore Development Corporation (BDC), Greater Baltimore Committee, the President’s Roundtable, Morgan State University, and East Baltimore Development, Inc. will establish and broker connections between majority and minority-owned businesses and minority-owned venture capital firms.

Organizational Diversity

Objective: To ensure compliance with the Mayor’s commitment, there must be diversity throughout the organizational structure, there must be clear accountability, persistent follow-up, measurement and reporting of progress.

- There will be two governing boards for the East Baltimore Biotech Project whose membership will be diverse.
 1. The city will establish a 501(c)(3) corporation, East Baltimore Development, Inc. (hereinafter referred to as “EBDI”, including any of its successor organizations or entities or assignees). EBDI will have an eleven member Board of Directors which will be composed of three (3) members appointed by the Mayor, two (2) members appointed by Johns Hopkins, two (2) members appointed by the community [method of selection to be determined subsequently], (1) member appointed by the Governor, and three (3) at large members appointed by the Board based on recommendations by the Mayor in consultation with the City Council President. The role of EBDI will be as follows:

- To complete planning for East Baltimore Development
 - To complete the financial plan and budget for redevelopment
 - To hire necessary staff and/or consultants to help implement the plan
 - To coordinate acquisition, relocation and demolition
 - To oversee site assemblage and issuance of RFPs to attract developers
 - To ensure compliance with all appropriate government processes
 - To communicate to multiple constituencies and build support for project
 - To establish new image for East Baltimore
 - To market redevelopment area to tenants, businesses, residents, etc.
2. The City will support the establishment of a 501(c)(3) corporation, East Baltimore Incubator, Inc. (hereinafter referred to as “EBI”, including any of its successor organizations or entities or assignees). EBI will have a five (5) member Board of Directors which will be comprised of one (1) cross-over member from EBDI, one (1) member appointed by government (city/state combined), one (1) member appointed by Johns Hopkins, one (1) member appointed by Morgan State University, and one (1) member appointed by the Community. The role of EBI will be as follows:
- To recruit commercial tenants for the Biotech Park
 - To create a biotech incubator nationally
 - To create a support system of legal, accounting and other services to assist incubating companies’ growth
 - To establish ties with university faculty research
- There will be a commitment to professional staff diversity, with at least one, qualified minority senior level staff person in each of the organizations associated with the East Baltimore Biotech Project to include, but not limited to, EBDI and EBI.
 - The EBDI will report to the Mayor and City Council its progress and results in implementation of the terms of this Minority Inclusion Agreement on a quarterly basis, and will also specifically report, on a monthly basis, the MBE/WBE participation through Citistat to proactively track minority business participation throughout the development process.
 - The Mayor’s Office of Minority Business Development will issue a written annual report to the Baltimore City Council and members of the Baltimore City Delegation to the State Legislature that will include a status report on the implementation of this Minority Inclusion Agreement.
 - EBDI will support the operation of a community portal to be hosted by the East Baltimore Community Corporation in partnership with Morgan State University, which will serve as an information link to the broader community about this project. Information and updates on project progress will be available for public review seven (7) days per week, twenty-four (24) hours per day.

Contracting

Objective: To engage minorities in all aspects of contracting, construction, professional services, commodities, manufacturing and services. This project will move forward in phases, that will facilitate the easy identification of where opportunities exist to engage minority firms (see Appendix 1). To this end,

The East Baltimore Development Inc. will subdivide the phases of development to allow for large and small development opportunities. The City will then assist in identifying minority developers to ensure access to these opportunities. In all phases of this project, the goals, subject to the annual disparity study, shall be:

Planning 13.5%
Design and Architecture 17%
Engineering 17%
Legal 13.5%
Accounting 13.5%
Real Estate: Appraisals, Title, Relocation Services, Tenant representation/Site Selection 13.5%
Financing 13.5%
Investment/Capital 13.5%
Project Management 13.5%
Demolition 30.5%
Rehabilitation 30.5%
New Construction – Housing and biotech space 30.5%
Property and equipment financing 13.5%
Some Business Attraction – Biotech 13.5%
Facilities Management/ Maintenance/ Engineering Services 13.5%
Property Management 13.5%
Laboratory and Office Supplies 9%
Disposition Services 13.5%
Reprographics 13.5%
Delivery Services 13.5%
Light Manufacturing 13.5%
Research & Development 13.5%

- For all development RFPs, the selection criteria shall include the extent to which the proposal includes minority participation in all aspects of the development project, including equity/ ownership and on-going operations/management of the project. These criteria will be given 20% weight in the scoring process.
- All other things being equal, bonus consideration will be given to those developers and contractors who have an effective partnership with community or faith-based organizations (i.e. for employment, training and social service opportunities), and/or the minority business community.

- First Source Hiring Initiative: The Administration will direct contractors who are awarded contracts to work with the Mayor's Office of Employment Development's Employ Baltimore, working in partnership with "The Chance Center", to interview City residents, and displaced residents from the Biotech Park site first, to place qualified applicants with jobs created by the award.

Contracting

Objective: To increase the number of significant minority-owned retail businesses, high-tech and biotechnology firms.

The identification of opportunities will likely occur in Phase Two of the project. This agreement will be amended at that time to provide specific goals and objectives for this category of business. However, the commitment is as follows:

- The East Baltimore Development, Inc. (EBDI), in collaboration with the Mayor's Office of Minority Business Development and a Morgan State University small business consortium, will recruit and provide technical and financial assistance to minorities owning and operating significant retail establishments within the East Baltimore Biotech Park area (i.e., restaurants, dry cleaners, and other neighborhood-related retail establishments).
- The Mayor's Office of Minority Business Development and Morgan State University will assist the East Baltimore Incubator, Inc. (EBI) Board in recruiting minority-owned high-tech/biotech companies and encourage start-ups, through the East Baltimore incubator program. The Mayor's Office of Minority Business Development will work with these companies and encourage them to fully utilize City, State, and federal business development resources.
- The City and/or EBDI will provide incentives to minority biotech/high tech companies that relocate and/or expand to Baltimore.
- Hopkins-affiliated, retail and biotechnology companies locating within the biotechnology park will contract with minority-owned companies for supplies, commodities and services.

Developing a Technical Workforce

Objective: The East Baltimore Development project will create 8,000 new jobs: 1/3 of which will be for workers holding a high school degree or GED, 1/3 for college graduates and 1/3 for post-graduates. The City will utilize collective resources to provide high-tech employment opportunities for Baltimore residents.

- Multiple entities and significant resources will be dedicated to help deliver the appropriate levels of workforce development training that will be required to ensure that the biotechnology park is a success. This includes Empower Baltimore Management Corporation, Baltimore City Community College, University of Maryland Biotechnology Institute, Morgan State University, Hopkins-Dunbar Project, the Baltimore Workforce Investment Board, Mayor's Office of Employment Development and community-based workforce development programs, including the Gate Program and The Chance Center.

- Qualified displaced residents shall be given a preference for job training opportunities over other qualified applicants that are not former residents of the biotechnology park site.

Incubator and Laboratory Space for Startups

Objective: To make laboratory and office incubator space available to minority startup ventures.

The identification of opportunities will likely occur in Phase Three of the project. This agreement will be amended to provide specific goals and objectives for this category of business at that time. However, the commitment is as follows:

- Space will be provided for minority-owned business startups, and related research, patent, licensing and commercial development.
- The Administration will encourage universities, including Morgan State University, to establish technology transfer programs with the East Baltimore Biotech Park. This will include, but not be limited to, exchange of professors and research faculty, provision of incubator-related services through applied technology centers, and brokering biotechnology business opportunities for students and recent graduates.

Outreach

Objective: The Administration will help minority entrepreneurs take advantage of the economic development initiatives underway, as well as future initiatives, by providing a user-friendly point of contact for information and ensuring access to relevant agencies. It is City government's responsibility to facilitate effective outreach to the minority business community.

- The Administration will reach out to established minority business people in the community for assistance in building capacity, so that minority entrepreneurs can take advantage of these development opportunities.
- The Administration will sponsor several forums, to provide information on business opportunities, as well as networking opportunities for minority investors, developers and contractors to interact with their non-minority counterparts.
- Throughout the lease out period, national outreach efforts will be made to identify minority biotech firms and suppliers to recruit to the center.

Community Reinvestment

Objective: To ensure that the economic success of the biotechnology park benefits not only the tenants and participants of the park itself, but also provides ongoing benefits to the surrounding community of East Baltimore residents.

- Not less than three percent (3%) of all eligible public funds appropriated for the East Baltimore Biotech Project shall be reserved for the purpose of making equity or equity type investments in businesses to be located in the biotech park and other business opportunities that would flow from the biotech park. It is the intention of EBDI that these funds be managed by a minority owned and controlled Community Development Corporation (“CDCs”), Community Development Entity (“CDEs”), or a Certified Community Development Financial Institution Fund (“CDFIs”), whose principal managers have had at least ten years experience making equity and equity type investments in Baltimore distressed communities. The selected investment partner shall be provided ample opportunities by the EBDI and EBI Boards to review and participate in commercial investment opportunities that would flow from the biotech park and its tenants, and other business opportunities that would flow from the biotech park provided such investor agrees to reinvest a portion of the return of their investments in East Baltimore community institutions, commercial or residential developments, or infrastructure improvements.
- EBDI, Inc. (including any of its successor organizations or entities or assignees) will commit to ensure community reinvestment. Subsequent to the formation of the EBDI Board of Directors, a community reinvestment process will be developed to ensure that the East Baltimore Community (bounded by Aisquith Street on the West, Edison Highway on the East, Fayette Street on the South, and North Avenue on the North) receives a significant recurring stream of revenue to be used to facilitate the development of East Baltimore’s community institutions, commercial or residential developments, or infrastructure improvements. One or both of the following scenarios will be used to achieve that goal.
 - It is the intention of EBDI that between .5% - 2% of all net income generated by EBDI from commercial leases in the Biotech Park (approximately 2 million square feet) be distributed annually to an experienced minority owned and controlled certified Community Development Financial Institution (CDFI) approved by the EBDI Board. The CDFI must have substantial experience in making equity and equity type investments in Baltimore distressed communities. The selected CDFI shall be provided ample opportunities by EBDI and EBI boards to review and to participate in commercial investment opportunities presented by the biotech park and its tenants, and other business opportunities that would flow from the biotech park.
 - It is the intention of EBDI to distribute between 4% - 6% of all net proceeds generated from the sale of commercial land in the Biotech Park to an experienced minority owned and controlled certified Community Development Financial Institution (CDFI) approved by the EBDI Board. The CDFI must have substantial experience in making equity and equity type investments in Baltimore distressed communities. The selected CDFI shall be provided ample opportunities by EBDI and EBI boards to review and participate in commercial investment opportunities presented by the biotech park and its tenants, and other business opportunities that would flow from the biotech park.

In either scenario, the selected CDFI shall manage and award the community reinvestment funds to recognized Community Development Corporations (CDCs) located in East Baltimore to be used to facilitate the development of East Baltimore community institutions, commercial or residential development, or infrastructure improvements for the surrounding community.

This document will be reviewed at the end of each year. Addendums will be added as each phase of the East Baltimore Development matures and begins new phases.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement for Minority Inclusion in the East Baltimore Housing/Biotech Park Development Project on 4/15/02.

Witness:

/s/
Alternate Custodian of City Seal

MAYOR AND CITY COUNCIL

By:

/s/
Martin O'Malley, Mayor

Witness:

/s/

JOHNS HOPKINS UNIVERSITY

By:

/s/
William R. Brody, M.D., Ph.D.
President

Witness:

/s/

JOHNS HOPKINS HEALTH
SYSTEM CORPORATION

By:

/s/
Edward D. Miller, M.D.
Vice Chairman and CEO of
Johns Hopkins Medicine

Witness:

/s/

By:

/s/
Ronald R. Peterson, President

Witness:

EAST BALTIMORE DEVELOPMENT, INC.

/s/
Joseph Haskins, Chairman of the Board

Attachment 1

Opportunities for Inclusion in the East Baltimore Development

Phase 1: Acquisition, Relocation and Site Preparation and establishment of corporation

Planning 13.5%
MBE Design and Architecture 17%
Engineering 17%
Legal 13.5%
Accounting 13.5%
Real Estate: Appraisals, Title, and Relocation Services 13.5%
Financing 13.5%
Investments/Capital 13.5%
Demolition 30.5%

Phase 2: Continued Site Preparation, Rehabilitation and Construction of Housing/Biotechnology Park

Planning 13.5%
MBE Design and Architecture 17%
Engineering 17%
Legal 13.5%
Accounting 13.5%
Real Estate: Appraisals, Title, Relocation Services, Tenant representation/Site selection 13.5%
Financing 13.5%
Investments/Capital 13.5%
Project Management 13.5%
Demolition 30.5%
Rehabilitation 30.5%
New Construction – Housing and Biotech space 30.5%
Property and equipment financing 13.5%
Facilities Management/ Maintenance/ Engineering Services 13.5%
Property Management 13.5%
Laboratory and Office Supplies 9%
Parking 13.5%

Phase 3: Continued construction of housing and biotechnology space, business attraction/recruitment

Planning 13.5% MBE
Design and Architecture 17%
Engineering 17%
Legal 13.5%
Accounting 13.5%
Real Estate: Appraisals, Title, Relocation Services, Tenant representation/Site selection 13.5%
Financing 13.5%
Investments/Capital 13.5%

Project Management 13.5%
Demolition 30.5%
Rehabilitation 30.5%
New Construction – Housing and Biotech space 30.5%
Property and equipment financing 13.5%
Facilities Management/ Maintenance/ Engineering Services 13.5%
Property Management 13.5%
Laboratory and Office Supplies 9%
Disposition Services 13.5%
Reprographics 13.5%
Delivery Services 13.5%
Light Manufacturing 13.5%
Research & Development 13.5%